

AGENDA



ARCHITECTURAL REVIEW BOARD MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
AUGUST 30, 2022 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = *RED*

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) ACTION ITEMS

(1) **SP2022-039 (BETHANY ROSS)**

Discuss and consider a request by Daniel Stewart of DEC on behalf of Nicholas Roth of Texas RTG Patio Partners-II, LLC for the approval of a Site Plan for a *General Retail Store (i.e. Rooms-To-Go Patio)* on a 1.93-acre portion of a larger 4.333-acre parcel of land identified as Lot 3, Block B, Town Place Marriott Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located at the northeast corner of the intersection of the IH-30 Frontage Road and Greencrest Boulevard, and take any action necessary.

(2) **SP2022-043 (BETHANY ROSS)**

Discuss and consider a request by Paul Cragun of Cumulus Design on behalf of Campfire Shops, LLC for the approval of a Site Plan for a *Carwash, Restaurant, and Commercial/Retail Shopping Center* on a 2.003-acre parcel of land identified Lot 4, Block A, Wal-Mart Super Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated along the east side of White Hills Drive south of Suncrest Drive, and take any action necessary.

(3) **SP2022-044 (BETHANY ROSS)**

Discuss and consider a request by Bob Pruet of Urban Structure on behalf of Garrett Poindexter of Cambridge Properties, LLC for the approval of a Site Plan for a *Mini-Warehouse Facility* on a 3.682-acre tract of land being a portion of a larger 7.154-acre tract of land identified as Tract 3 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the SH-276 Overlay (SH-276 OV) District, situated at the southeast corner of the intersection of John King Boulevard and Discovery Boulevard, and take any action necessary.

(4) **SP2022-045 (HENRY LEE)**

Discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Site Plan for a *Restaurant* on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [*SH-205*], and take any action necessary.

(5) **SP2022-047 (HENRY LEE)**

Discuss and consider a request by Arlyn Samuelson of Westwood Professional Services on behalf of Carolina Molina of Alvaplast US, Inc. for the approval of a Site Plan for an *Industrial Building* on a 43.00-acre parcel of land identified as Lot 2, Block 1, Indalloy Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1200 E. Washington Street and 501 Industrial Boulevard, and take any action necessary.

(IV) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on August 26, 2022 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 30, 2022
APPLICANT: Daniel Stewart; DEC
CASE NUMBER: SP2022-039; *Site Plan for Rooms-To-Go-Patio*

SUMMARY

Discuss and consider a request by Daniel Stewart of DEC on behalf of Nicholas Roth of Texas RTG Patio Partners-II, LLC for the approval of a Site Plan for a General Retail Store (*i.e. Rooms-To-Go Patio*) on a 1.93-acre portion of a larger 4.333-acre parcel of land identified as Lot 3, Block B, Town Place Marriott Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located at the northeast corner of the intersection of the IH-30 Frontage Road and Greencrest Boulevard, and take any action necessary.

BACKGROUND

On September 5, 1960, the subject property was annexed by *Ordinance No. 60-02 [Case No. A1960-002]*. According to the City's *Historic Zoning Maps*, between annexation and January 3, 1972 the subject property was rezoned from an Agricultural (AG) District to a Commercial (C) District. The subject property remained zoned Commercial (C) District since this time.

PURPOSE

The applicant -- *Daniel Stewart of DEC* -- is requesting the approval of a Site Plan for an 11,896 SF *General Retail Store*.

ADJACENT LAND USES AND ACCESS

The subject property is generally located at the northeast corner of the intersection of the IH-30 Frontage Road and Greencrest Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 2.80-acre parcel of land being a portion of a larger 8.613-acre tract of land (*i.e. Lot 1, Block B, Greenest Addition*), zoned Commercial (C) District, and developed with a 16,210 SF hotel (*i.e. Townplace Marriott Suites*). North of this is a 35.295-acre parcel of land (*i.e. Lot 3, Block 1, Rockwall High School Addition*), zoned Commercial (C) District, developed with a *Public Secondary School (i.e. Rockwall High School)*. North of this is W. Yellow Jacket Lane, which is classified as a M4D (*i.e. Major Collector, four [4] lane, divided roadway*) on the City's Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly South of the subject property is E. IH-30, which is classified as a TXDOT6D (*i.e. Texas Department of Transportation, six [6] lane, roadway*) on the City's Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this is Mims Road, which is classified as a *Minor Collector* on the City's Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond that is a 0.554-acre parcel of land (*i.e. Lot 5, Block A, Rockwall Market Center East*), zoned Commercial (C) District, developed with a *Restaurant with Less Than 2,000 SF with Drive-Through (i.e. Bahama Bucks)*.

East: Directly east of the subject property is a 2.0767-acre parcel of land (*i.e. Lot 1, Block A, Texas Roadhouse Addition*), zoned Commercial (C) District, developed with a *Restaurant with 2,000 SF or More (i.e. Texas Roadhouse)*. Beyond this is a 3.642-acre parcel of land (*i.e. Lot 1, Block 1, Rockwall-Pine Addition*), zoned Commercial (C) District, developed with a 40,081 SF Retail Store (*i.e. Rooms-To-Go*). Beyond that is a 5.656-

acre tract of land (i.e. Lot 1, Block 1, Heritage BPG Addition), zoned Commercial (C) District, developed with a 27,968 SF *Motor Vehicle Dealership for Cars and Light Trucks* (i.e. Heritage GMC Buick). Beyond this is Kyle Drive, which is classified as a *Minor Collector* on the City's Thoroughfare Plan contained OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Greencrest Boulevard, which is classified as a *Minor Collector* on the City's Thoroughfare Plan contained OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 3.402-acre parcel of land, zoned Commercial (C) District, and developed with a 39,410 SF *Multi-Use Shopping Center* (i.e. Monarch Dental, China Taste, Pinky Nail, CBD American Shaman, Check N Go, Anytime Fitness, Domino's Pizza, Fireside Chicken and Tacos, Metro PCS, and Davita Dialysis). Beyond that is a 25.9263-acre parcel of land, zoned Commercial (C) District, developed with a 202,607 SF *General Retail Store* (i.e. Walmart Supercenter). Beyond this is a 1.33-acre parcel of land, zoned Commercial (C) District, developed with a 10,920 SF *Multi-Use Shopping Center* (i.e. Kings Crab Shack, Lone Star Vapor Shop, Rockwall Phone Repair, Kumon Academic, and Car Toys). Beyond that is White Hills Drive, which is classified as a *Minor Collector* on the City's Thoroughfare Plan contained OURHometown Vision 2040 Comprehensive Plan.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *General Retail Store* is permitted *by-right* in a Commercial (C) District. The submitted site plan, landscape plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the variances and exceptions outline in the *Variances and Exceptions by the Applicant* section below. A summary of the density and dimensional requirements for the subject property and the proposed projects conformance to these requirements are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	43,560 SF	X≥84,070 SF; <i>In Conformance</i>
<i>Minimum Lot Frontage</i>	25-Feet	X≥25-Feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	100-Feet	X≥100-Feet; <i>In Conformance</i>
<i>Minimum Front Yard Setback</i>	25-Feet	X≥25-Feet; <i>In Conformance</i>
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-Feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	10-Feet	X≥10-Feet; <i>In Conformance</i>
<i>Maximum Building Height</i>	60-Feet	X<30-feet; <i>In Conformance</i>
<i>Max Building/Lot Coverage</i>	60%	X=14%; <i>In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	1/250 SF or 48 spaces	X=50; <i>In Conformance</i>
<i>Minimum Landscaping Percentage</i>	15%	X=38%; <i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	85-90%	C=54%; <i>In Conformance</i>

CONFORMANCE WITH THE CITY'S CODES

Based on Subsection 02.02, *Land Use Standards*, of Article 13, *Definitions*, of the Unified Development Code (UDC), the applicant is requesting the approval of a *General Retail Store*, which conforms to the land uses listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) for a property situated in a Commercial (C) District. The proposed site plan generally conforms to the *General Overlay District Standards* and the *General Commercial (C) District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances and exceptions being requested in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions and variances:

Variances.

(1) Landscape Standards

- a. Landscape Buffers. According to Subsection 06.02.E.c, of Article 05, *General Overlay District Development Standards*, of the Unified Development Code (UDC), "(a)ll landscape buffers shall incorporate ground cover, a built-up berm and shrubbery or a combination thereof along the entire length of the frontage. Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48- inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage along the Primary Roadway." In this case, the applicant is required three (3) canopy trees and six (6) accent trees along the IH-30 frontage road. The applicant is requesting to plant one (1) canopy and six (6) accent trees along the IH-30 frontage road.

(2) Architectural Standards

- a. Secondary Materials. According to Subsection 06.02.C.1, Article 05, of the *General Overlay District Development Standards* of the Unified Development Code (UDC), "(e)ach exterior wall of a building's façade shall consist of a minimum of 90% Primary Materials and/or a maximum of 10% Secondary Materials -- excluding doors and windows." In this case, the applicant is requesting to use STOPowerwall Stucco for up to 17% of the facades.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant exceptions and variances to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship. In addition, the code requires that applicants provide compensatory measures that directly offset the requested exceptions and variances. In this case, as compensatory measures, the applicant is proposing: [1] to increase the number of trees located around the detention area, and [2] increase the number of shrubs throughout the property. In justification for the Landscape Standards Variance, the applicant has dispersed the required canopy trees throughout the site. Requests for exceptions and variances are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of an exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the IH-30 Corridor District and is designated for Special Commercial Corridor land uses. According to the plan, the Special Commercial Corridor "...is intended to provide an area for commercial/retail activity centers that are intended to support and serve the entire region." The primary land uses in the Special Commercial Corridor include Regional Shopping Centers, Entertainment, Retail, Personal Services, Restaurant, Corporate Offices, Employment and Recreational Land Uses. In this case, the applicant is requesting approval of a site plan for an 11,896 SF *General Retail Store*. Based on this, the applicant's request appears to conform to the goals and policies of the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On July 26, the Architecture Review Board (ARB) reviewed the proposed building elevations, and requested changes from the applicant. Specifically, the ARB requested that the applicant try to generally match the design of the Rooms-To-Go located at 920 E Interstate 30. The applicant has provided updated building elevations that generally conform to the ARB's request. These will be reviewed by the ARB at the meeting on August 30, 2022.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of the 11,896 SF *General Retail Store* on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.

- (2) The applicant provide a Landscape Plan showing a berm and shrubbery with a minimum height of 30-inches along IH-30 and Greencrest Boulevard.

- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

SUBDIVISION **Town Place Marriott Addition**

LOT **3**

BLOCK **B**

GENERAL LOCATION **NWC I-30 & Greencrest Boulevard**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial**

CURRENT USE **Undeveloped**

PROPOSED ZONING **Commercial**

PROPOSED USE

ACREAGE **1.93**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **2**

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Texas RTG Patio Partners-II LLC**

APPLICANT **DEC**

CONTACT PERSON **Nicholas Roth**

CONTACT PERSON **Daniel Stewart**

ADDRESS **4004 Summit Boulevard NE
Suite 600**

ADDRESS **5300 Town & Country Boulevard
Suite 150**

CITY, STATE & ZIP **Atlanta, Georgia 30319**

CITY, STATE & ZIP **Frisco Texas 75034**

PHONE **678-338-4545**

PHONE **469-850-0060**

E-MAIL **nroth@roomstogo.com**

E-MAIL **dstewart@dec-en.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Peter Weitzner [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 288.60 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF July, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF July, 2022.

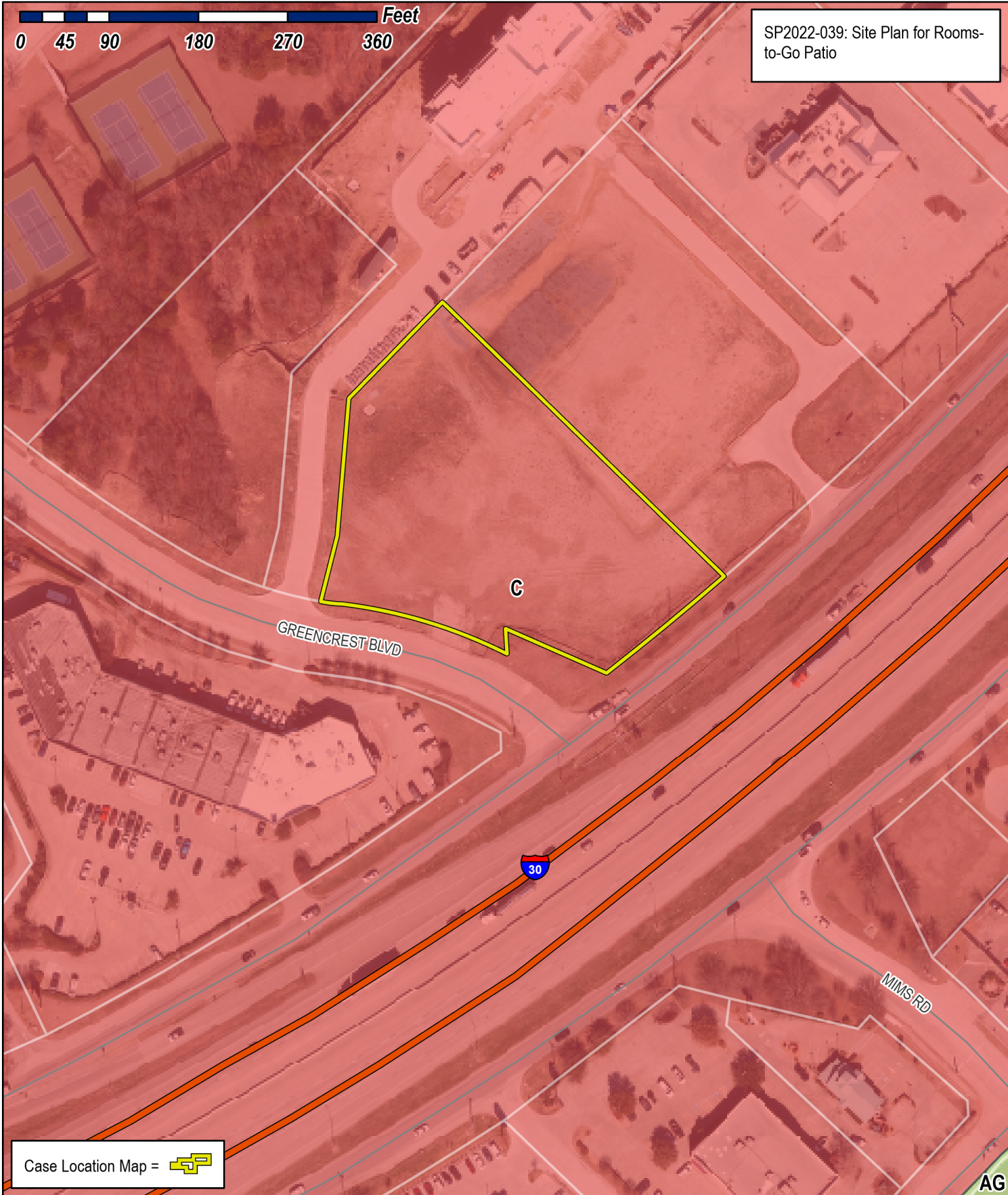
OWNER'S SIGNATURE


NOTARY PUBLIC IN AND FOR THE STATE OF GEORGIA



0 45 90 180 270 360 Feet

SP2022-039: Site Plan for Rooms-to-Go Patio



Case Location Map = 

AG



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





August 23, 2022

Ms. Bethany Ross
City of Rockwall
Planning Department
385 S. Goliad Street
Rockwall, Texas 75087

Re: Landscape Deviation Request
Rooms To Go Patio
Rockwall, Texas
DEC No. 10046

Dear Ms. Ross:

In response to comments received from the City of Rockwall on our site plan submittal package, I am requesting a slight deviation to the required tree count along the I-30 frontage for this site located at the north-east corner of Interstate Highway 30 and Greencrest Boulevard. As we mentioned during our P&Z Work Session, the Rooms To Go Patio brand identity is based on a large glass façade element. Other elements include bright colors and contrasting elements to create an interesting façade. It was expressed by ARB that the elevations be revised to closer match the existing Rooms To Go showroom. With that subdued elevation, it is critical to have open site lines to the building.

Our request is to reduce the required frontage canopy trees to one tree which will allow better visibility to the elements described above. We have kept the ornamental trees in place as if all the required canopy trees are provided. To compensate for the reduction in canopy trees, additional screening trees have been provided around the detention pond to aid in screening the service area and for general beautification. We have also significantly increased the number of shrubs being provided along the frontage and added a large number of non-required shrubs on the north building wall.

Please let me know if you have any questions or would like to discuss this request in more detail.

Sincerely,

Daniel Stewart, P.E.
President
Development Engineering Consultants, LLC

ABBREVIATIONS

BFR	BARRIER FREE RAMP
CI	CURB INLET
CP	CONCRETE PAVEMENT
ESMT	EASEMENT
EV	ELECTRIC VAULT
EX	EXISTING
EXIST	EXISTING
FH	FIRE HYDRANT
GI	GRATE INLET
HDWL	HEADWALL
MH	MANHOLE
PP	POWER POLE
PVMT	PAVEMENT
R	RADIUS
ROW	RIGHT OF WAY
SF	SQUARE FEET
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
TCP	TELECOMMUNICATIONS PEDESTAL
TCV	TELECOMMUNICATIONS VAULT
TMH	TELECOMMUNICATIONS MANHOLE
WM	WATER METER
WMH	WATER MANHOLE
WS	WATER SERVICE
WTR	WATER

LOT 2, BLOCK B
TOWN PLACE MARRIOTT ADDITION
DOC. NO. 20190000019144
OWNER: GREENCREST TPS HOTEL, LP

LOT 1, BLOCK A
TEXAS ROADHOUSE ADDITION
DOC. NO. 2018000006790
OWNER: ROADHOUSE ENTERPRISES, INC.

LOT 2
2.40 AC.
104,565 SF

ROOMS TO GO
PATIO
11,896 SF

LOT 1
1.93 AC.
84,194 SF

	EXISTING	PROPOSED
PROPERTY LINE	---	---
BUILDING	▬▬▬	▬▬▬
CURB	▬▬▬	▬▬▬
STORM DRAIN	▬▬▬	▬▬▬
STORM DRAIN MANHOLE/JUNCTION BOX	SDMH	SDMH
CURB INLET	CI	CI
GRATE INLET	GI	GI
WATER LINE	WATER	WATER
FIRE HYDRANT	⊕	FH
WATER METER BOX	⊕	⊕
WATER VALVE	⊕	⊕
SANITARY SEWER LINE	EX SS	SS
SANITARY SEWER MANHOLE	⊕	SSMH
POWER POLE	PP	PP
UNDERGROUND UTILITY MARKER	△	△
UNDERGROUND TELECOM LINE	---	---
UNDERGROUND ELECTRIC LINE	---	---
UNDERGROUND GAS LINE	---	---
OVERHEAD LINE	---	---
GAS METER	⊕	⊕
ACCESSIBLE PARKING	♿	♿
SIGN	⊕	⊕

- DIMENSION CONTROL GENERAL NOTES**
- BOUNDARY SURVEY: BOUNDARY SURVEY INFORMATION IS BASED ON THE TOPOGRAPHIC SURVEY PREPARED BY EAGLE SURVEYING, DATED 07/05/2022.
 - PROPERTY LINES & EASEMENTS: REFER TO THE TOPOGRAPHIC SURVEY TO VERIFY PROPERTY LINES AND EASEMENT LOCATIONS.
 - DIMENSION CONTROL: ALL PAVING DIMENSIONS AND COORDINATES ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE.
 - CURB RADII: ALL CURB RADII SHALL BE TWO FEET (2') AT THE FACE OF CURB, UNLESS NOTED OTHERWISE.
 - BUILDING DIMENSIONS: REFER TO THE BUILDING PLANS FOR EXACT BUILDING DIMENSIONS.

L= 174.44'
R= 485.00'
= 020 36°27'
CL= 173.50'
CB= N73 10°49'W

L= 153.72'
R= 3669.88'
= 002 24°00"
CL= 153.71'
CB= S50 34°06'W

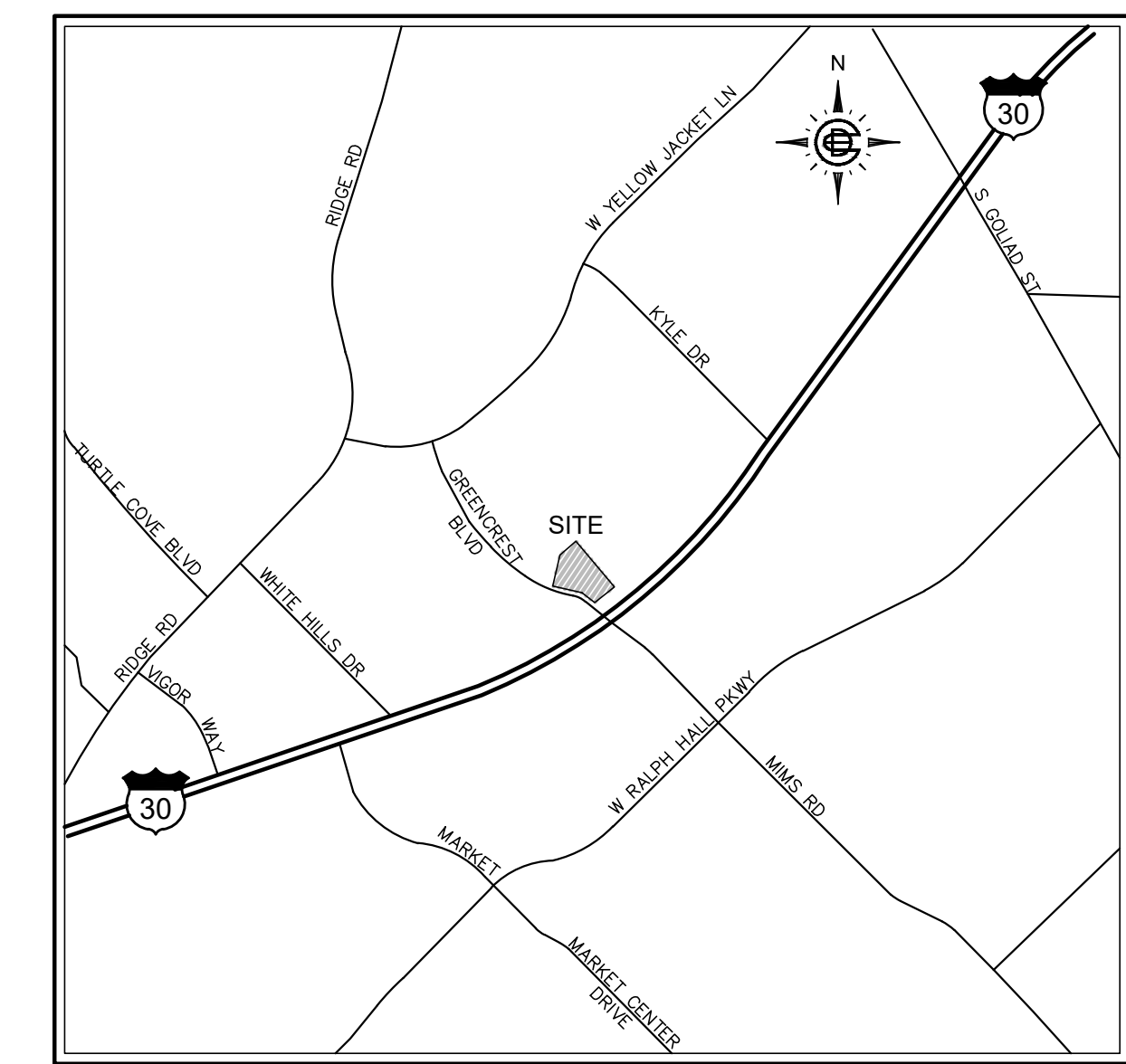
LEGEND

APPROVED

WITNESS OUR HANDS, THIS _____ DAY OF _____, 2022

CITY OF ROCKWALL CASE NO.: SP2022-039

SITE PLAN	
ROOMS TO GO PATIO	
904 E. INTERSTATE 30	
LOT 3, BLOCK A, TOWN PLACE MARRIOTT ADDITION	
OWNER/DEVELOPER TEXAS RTG PATIO PARTNERS-III, LLC 4004 SUMMIT BOULEVARD NE, SUITE 600 ATLANTA, GEORGIA 30319 CONTACT: NICHOLAS ROTH PHONE: (678) 338-4545 EMAIL: nroth@rtgpatio.com	DESIGN 5300 TOWN COUNTRY BOULEVARD, SUITE 150 FRISCO, TEXAS 75034 469-850-0060 TBP# FIRM NO. F-20255
ENGINEER/APPLICANT DEC, LLP 5300 TOWN COUNTRY BLVD, SUITE 150 FRISCO, TEXAS 75034 CONTACT: DANIEL STEWART, P.E. PHONE: (469) 850-0060 EMAIL: daniel@dec.com	ISSUE DATE 08/25/22 DEC FILE NO. 10046 SHEET NO. 1



VICINITY MAP
N.T.S.

PAVEMENT LEGEND

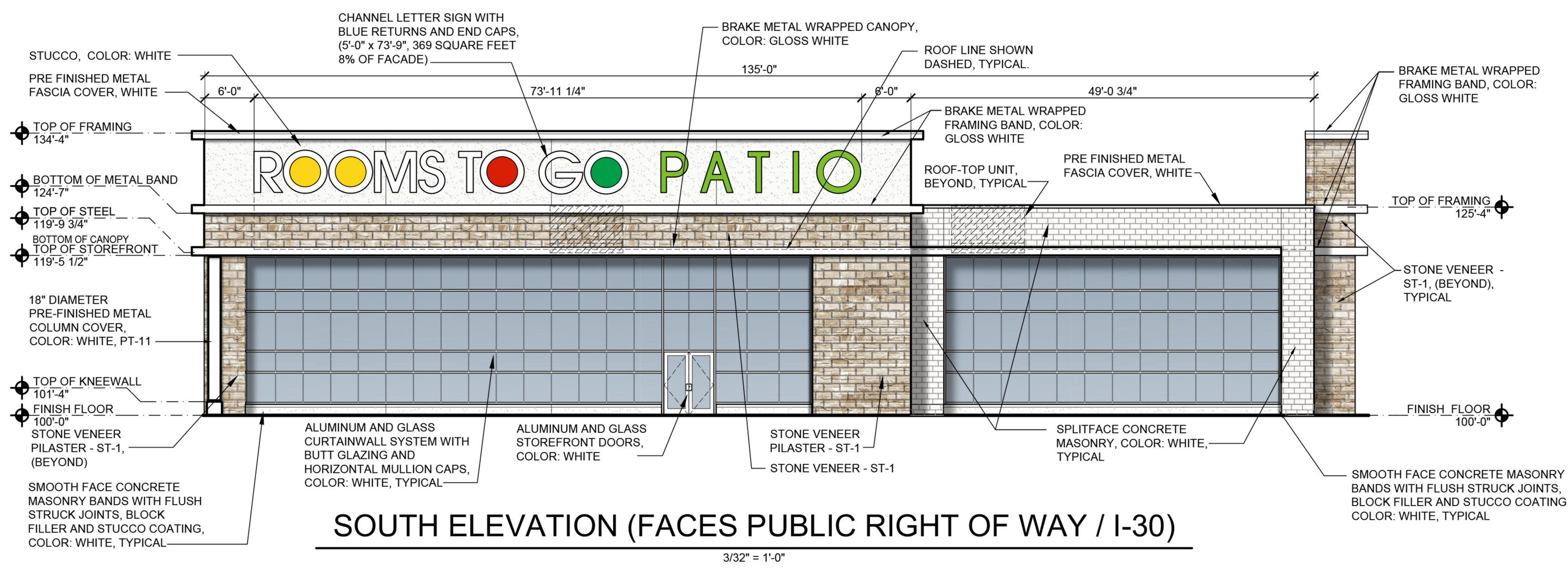
	EXISTING CONCRETE PAVEMENT
	4" REINFORCED CONCRETE SIDEWALK
	5" REINFORCED CONCRETE PAVEMENT (5" CP)
	6" REINFORCED CONCRETE PAVEMENT (6" CP)
	7" REINFORCED CONCRETE PAVEMENT (7" CP)

SITE DATA

LOT AREA:	1.93 ACRES (84,194 SF)
ZONING:	C (COMMERCIAL - IH 30 OVERLAY)
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	11,896 SQ. FT.
FLOOR/AREA RATIO:	0.14
PARKING REQUIRED:	48 SPACES (1/250)
PARKING PROVIDED:	
9'x18'	48 SPACES
ACCESSIBLE	2 SPACES
TOTAL	50 SPACES (1/238)
IMPERVIOUS AREA:	45,327 SQ. FT.
PERVIOUS AREA:	38,867 SQ. FT.
TOTAL:	84194 SQ. FT.

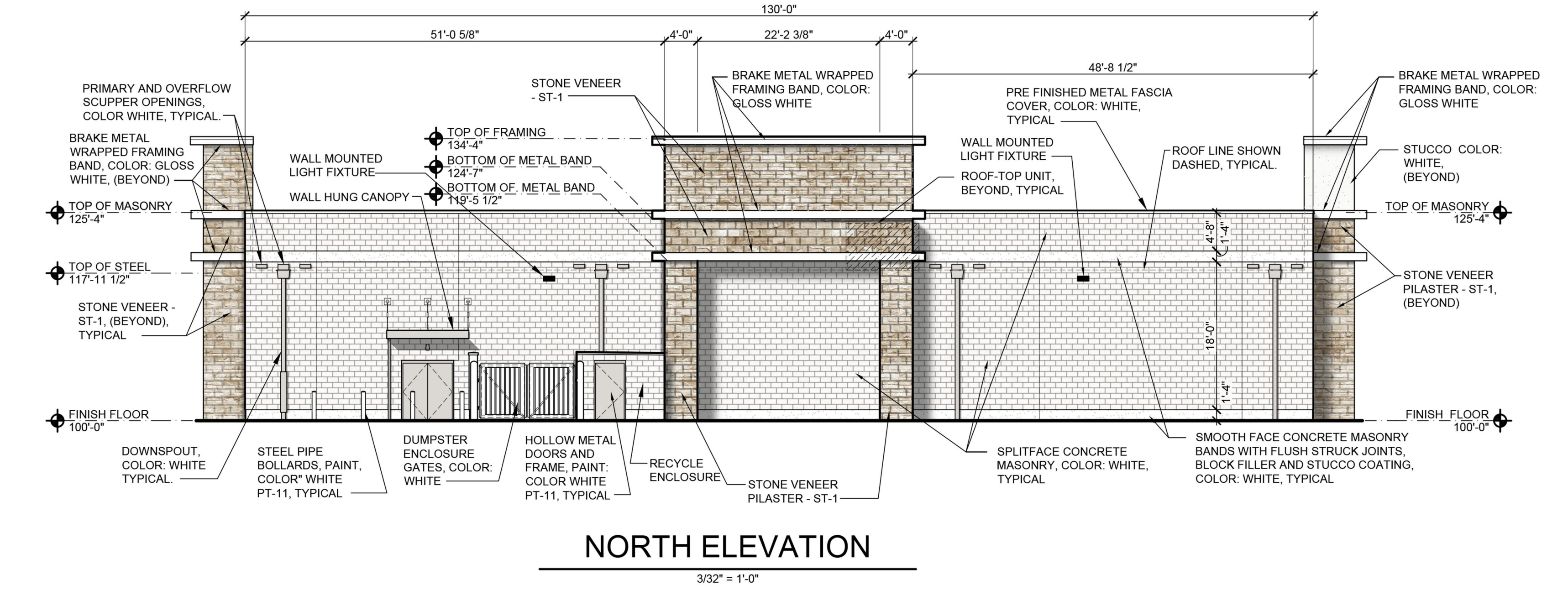
LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
BUILDING	▬▬▬	▬▬▬
CURB	▬▬▬	▬▬▬
STORM DRAIN	▬▬▬	▬▬▬
STORM DRAIN MANHOLE/JUNCTION BOX	SDMH	SDMH
CURB INLET	CI	CI
GRATE INLET	GI	GI
WATER LINE	WATER	WATER
FIRE HYDRANT	⊕	FH
WATER METER BOX	⊕	⊕
WATER VALVE	⊕	⊕
SANITARY SEWER LINE	EX SS	SS
SANITARY SEWER MANHOLE	⊕	SSMH
POWER POLE	PP	PP
UNDERGROUND UTILITY MARKER	△	△
UNDERGROUND TELECOM LINE	---	---
UNDERGROUND ELECTRIC LINE	---	---
UNDERGROUND GAS LINE	---	---
OVERHEAD LINE	---	---
GAS METER	⊕	⊕
ACCESSIBLE PARKING	♿	♿
SIGN	⊕	⊕



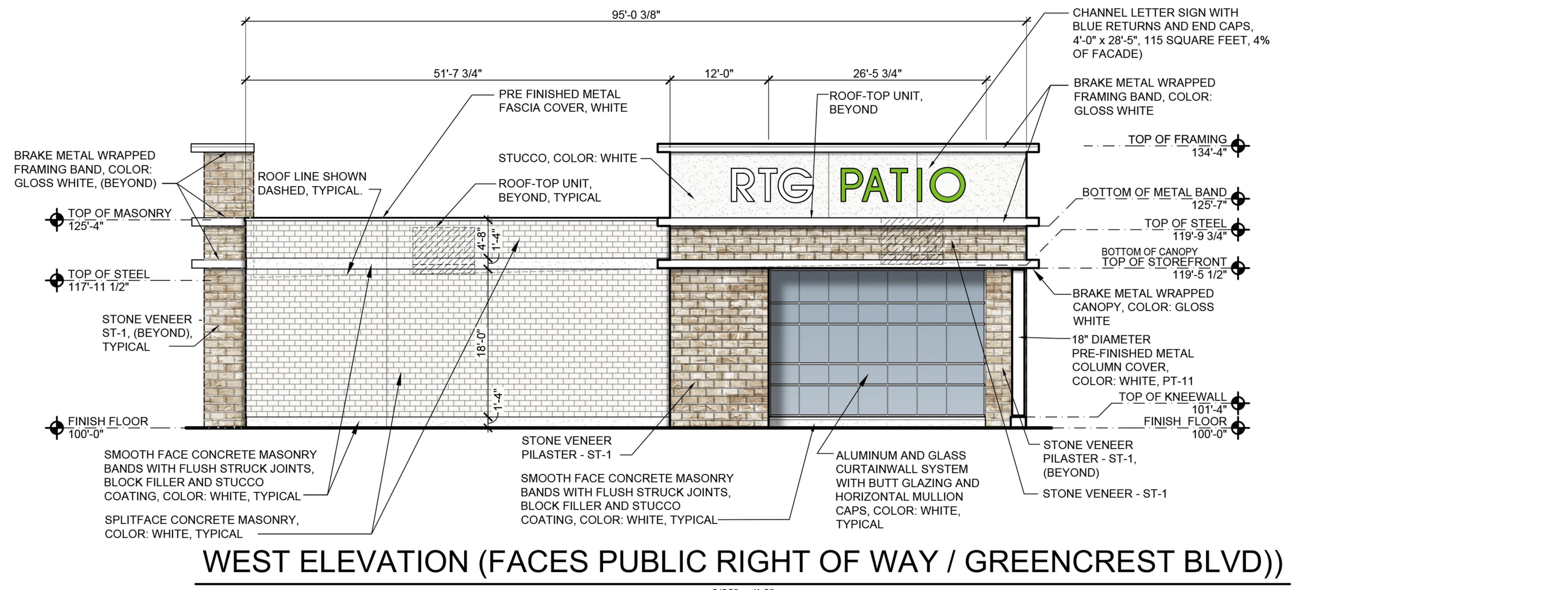
MATERIAL RATIOS - SOUTH ELEVATION

STONE	828 SF	19%
CMU	391 SF	9%
ALUM/GLASS	1998 SF	45%
STUCCO	829 SF	19%
METAL	377 SF	8%
TOTAL	4423 SF	100%



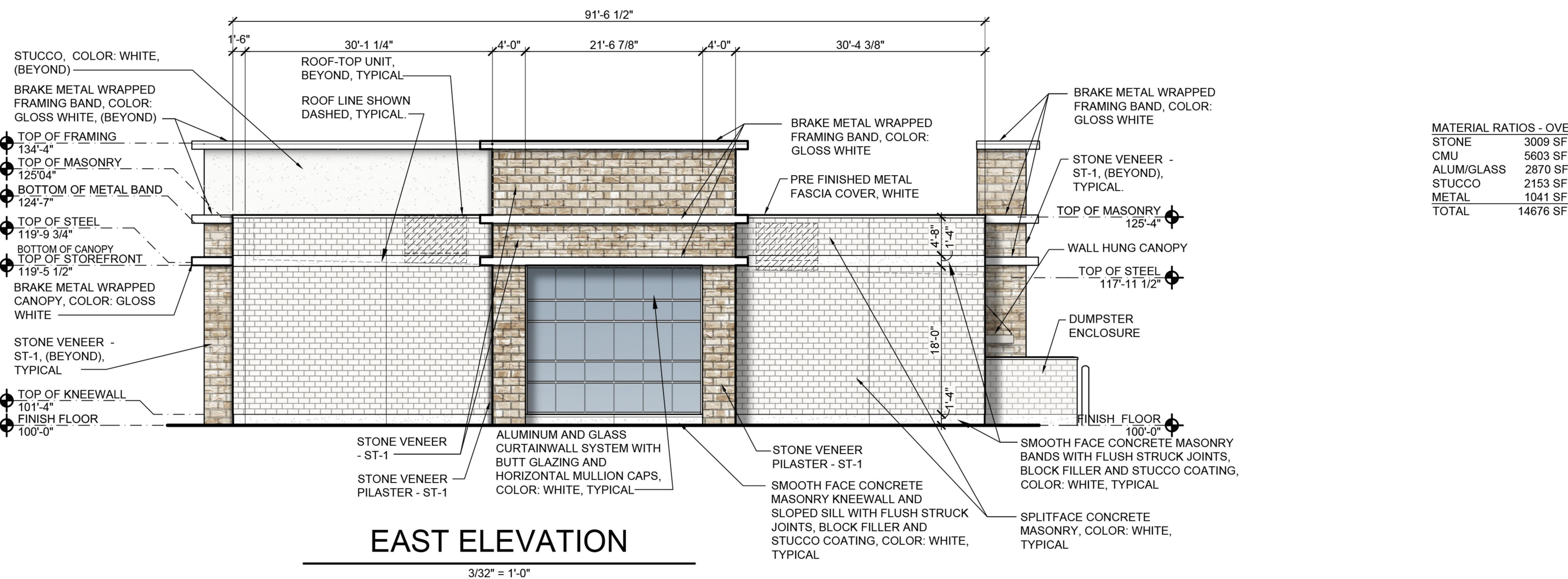
MATERIAL RATIOS - NORTH ELEVATION

STONE	810 SF	20%
CMU	2575 SF	65%
ALUM/GLASS	0 SF	0%
STUCCO	320 SF	8%
METAL	266 SF	7%
TOTAL	3977 SF	100%



MATERIAL RATIOS - WEST ELEVATION

STONE	650 SF	21%
CMU	1163 SF	39%
ALUM/GLASS	480 SF	16%
STUCCO	518 SF	17%
METAL	206 SF	7%
TOTAL	3016 SF	100%



MATERIAL RATIOS - EAST ELEVATION

STONE	721 SF	22%
CMU	1474 SF	45%
ALUM/GLASS	392 SF	12%
STUCCO	478 SF	15%
METAL	192 SF	6%
TOTAL	3257 SF	100%

MATERIAL RATIOS - OVERALL

STONE	3009 SF	20%
CMU	5603 SF	38%
ALUM/GLASS	2870 SF	20%
STUCCO	2153 SF	15%
METAL	1041 SF	7%
TOTAL	14676 SF	100%

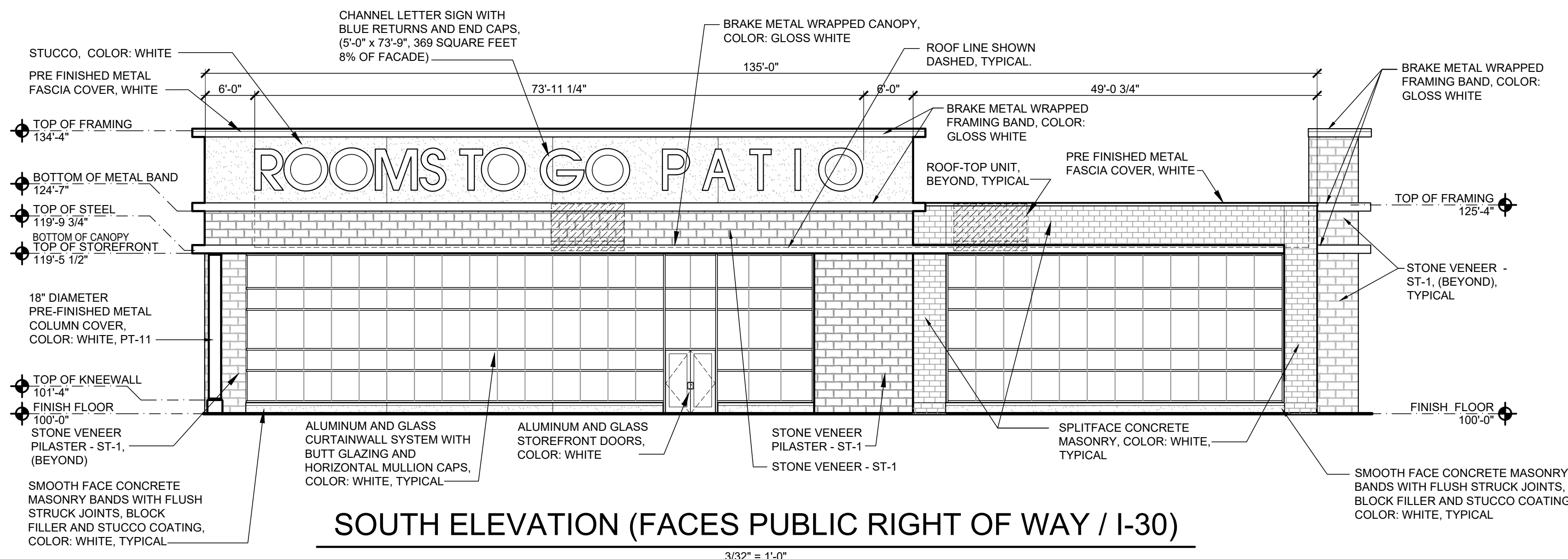
EXTERIOR MATERIAL SCHEDULE	
MATERIAL	FINISHES
SPLIT FACE CONCRETE MASONRY UNIT, FIELD	8" HIGH INTEGRALLY COLORED SPLIT-FACE CONCRETE MASONRY UNITS APPLY WATER REPELLENT (REFER SPECIFICATION 0900), MANUFACTURER: ADAMS OLD CASTLE COLOR: SNOW WHITE AVAILABLE THROUGH BEST BLOCK / MIDWEST BLOCK BRIDGETON, MISSOURI OR APPROVED EQUAL
SMOOTHFACE CONCRETE MASONRY UNIT AT BANDS AND KNEEWALL	8" HIGH SMOOTHFACE CONCRETE MASONRY UNITS WITH FLUSH STRUCK JOINTS, BLOCK FILLER, AND EXTERIOR INSULATION FINISH SYSTEM COATING. TEXTURE: FINE, COLOR: WHITE TO MATCH DRYVIT #101 SUPER WHITE
LIMESTONE VENEER AT PILASTERS AND FIELD	ST-1: COLOR: ROUGHTEXTURED FACE - COLOR: ROUGHBACK/SPLITFACE BLEND, TYPE: SAWN 2 SIDES (TOP, BOTTOM) CHOPPED, LENGTH: COURSE SIZE = 12" (X18" TO 30" LENGTH), BED DEPTH: 3" TO 5"
STUCCO	STO POWERWALL STUCCO, TEXTURE: FINE, COLOR: WHITE TO MATCH DRYVIT #101 SUPER WHITE
PRE FINISHED METAL COPING AND FASCIA COVER	FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
CURTAINWALL MULLIONS AND ENTRY DOORS	KYNAR FINISH - WHITE ON EXTERIOR AND INTERIOR
PREFINISHED METAL ROOF AT RECYCLE AREA	FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
WALL HUNG CANOPY	ALL EXPOSED COMPONENTS FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
ALUMINUM SOFFIT PANEL	NON - VENTED ALUMINUM SOFFIT PANEL, COLOR - PRE-FINISHED TO MATCH CANOPY WHITE

CASCO

12 SUNNEN DR. SUITE. 100
ST. LOUIS, MO 63143
ARCHITECTS/ENGINEERS
314-821-1100

**ROOMS
TO GO**

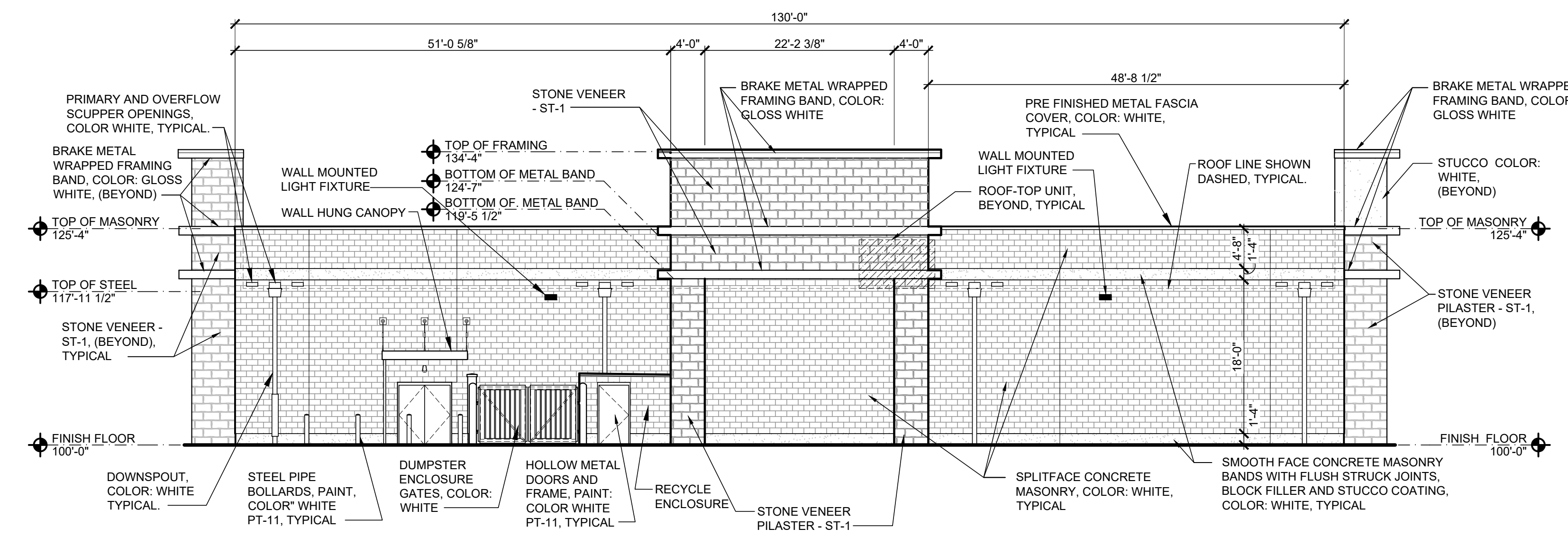
ROCKWALL, TEXAS
08/24/2022



MATERIAL RATIOS - SOUTH ELEVATION

STONE	828 SF	19%
CMU	391 SF	9%
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STUCCO	829 SF	19%
METAL	377 SF	8%
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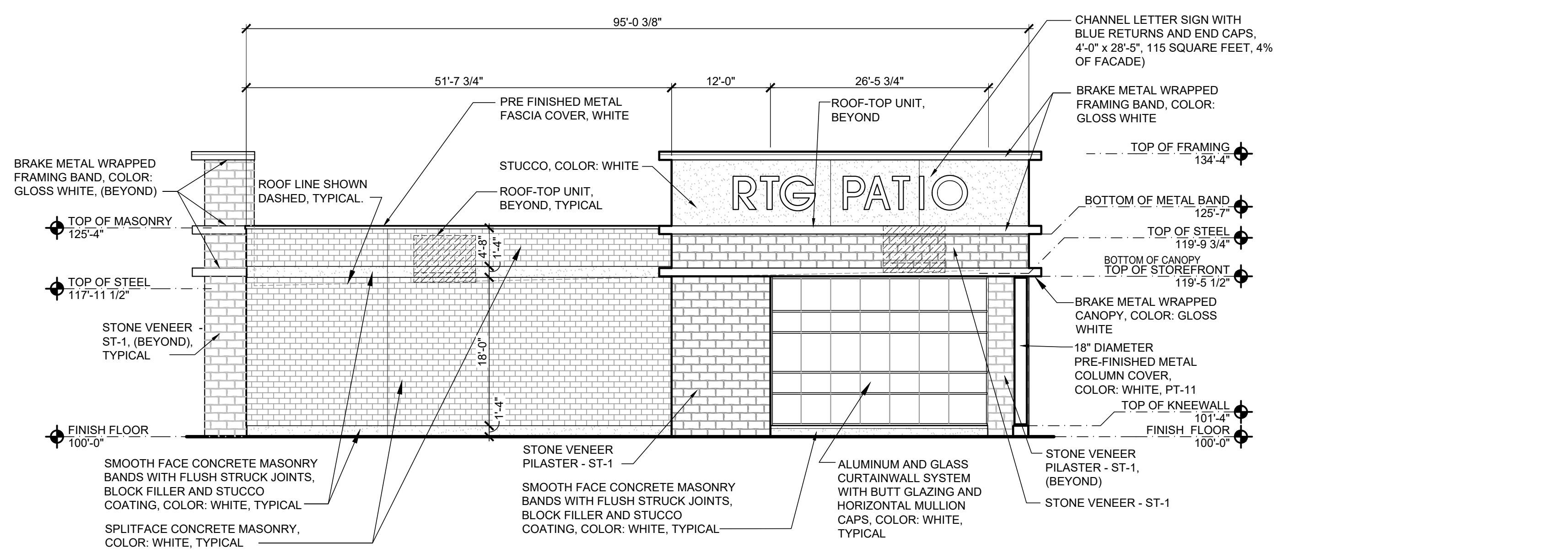
SOUTH ELEVATION (FACES PUBLIC RIGHT OF WAY / I-30)



MATERIAL RATIOS - NORTH ELEVATION

STONE	810 SF	20%
CMU	2575 SF	65%
ALUM/GLASS	0 SF	0%
STUCCO	320 SF	8%
METAL	266 SF	7%
TOTAL	3977 SF	100%

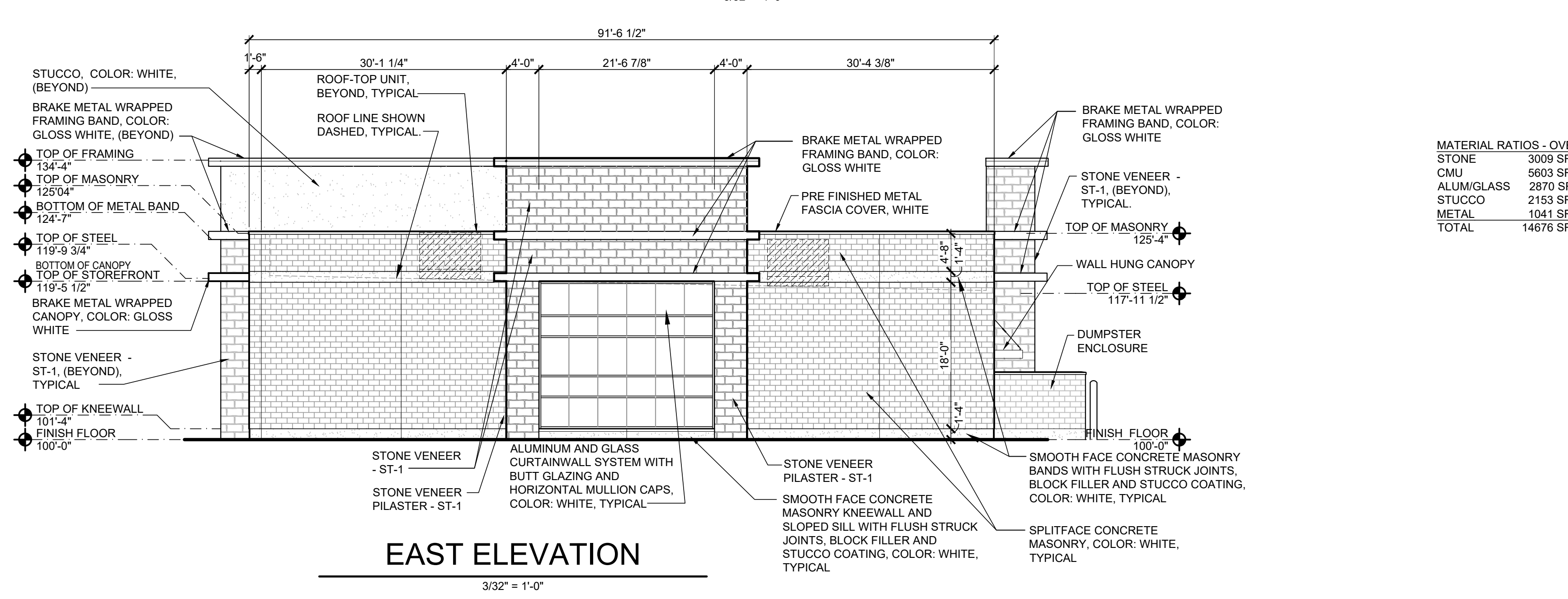
NORTH ELEVATION



MATERIAL RATIOS - WEST ELEVATION

STONE	850 SF	21%
CMU	1163 SF	39%
ALUM/GLASS	480 SF	16%
STUCCO	518 SF	17%
METAL	206 SF	7%
TOTAL	3016 SF	100%

WEST ELEVATION (FACES PUBLIC RIGHT OF WAY / GREENCREST BLVD)



MATERIAL RATIOS - EAST ELEVATION

STONE	721 SF	22%
CMU	1474 SF	45%
ALUM/GLASS	392 SF	12%
STUCCO	478 SF	15%
METAL	192 SF	6%
TOTAL	3257 SF	100%

EAST ELEVATION

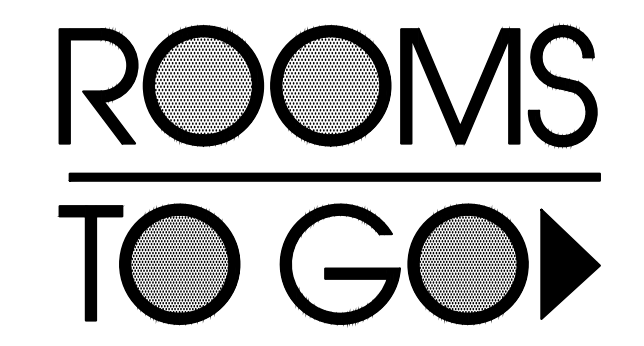
EXTERIOR MATERIAL SCHEDULE	
MATERIAL	FINISHES
SPLIT FACE CONCRETE MASONRY UNIT, FIELD	8" HIGH INTEGRALLY COLORED SPLIT-FACE CONCRETE MASONRY UNITS APPLY WATER REPELLENT (REFER SPECIFICATION 09000), MANUFACTURER: ADAMS OLD CASTLE COLOR: SNOW WHITE AVAILABLE THROUGH BEST BLOCK / MIDWEST BLOCK BRIDGETON, MISSOURI OR APPROVED EQUAL
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LIMESTONE VENEER AT PILASTERS AND FIELD	ST-1: COLOR: ROUGHTEXTURED FACE - COLOR: ROUGHBACK/SPLITFACE BLEND, TYPE: SAWN 2 SIDES (TOP, BOTTOM) CHOPPED, LENGTH: COURSE SIZE = 12" (X18" TO 30" LENGTH), BED DEPTH: 3" TO 5"
STUCCO	STO POWERWALL STUCCO, TEXTURE: FINE, COLOR: WHITE TO MATCH DRYVIT #101 SUPER WHITE
PRE FINISHED METAL COPING AND FASCIA COVER	FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
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MATERIAL RATIOS - OVERALL

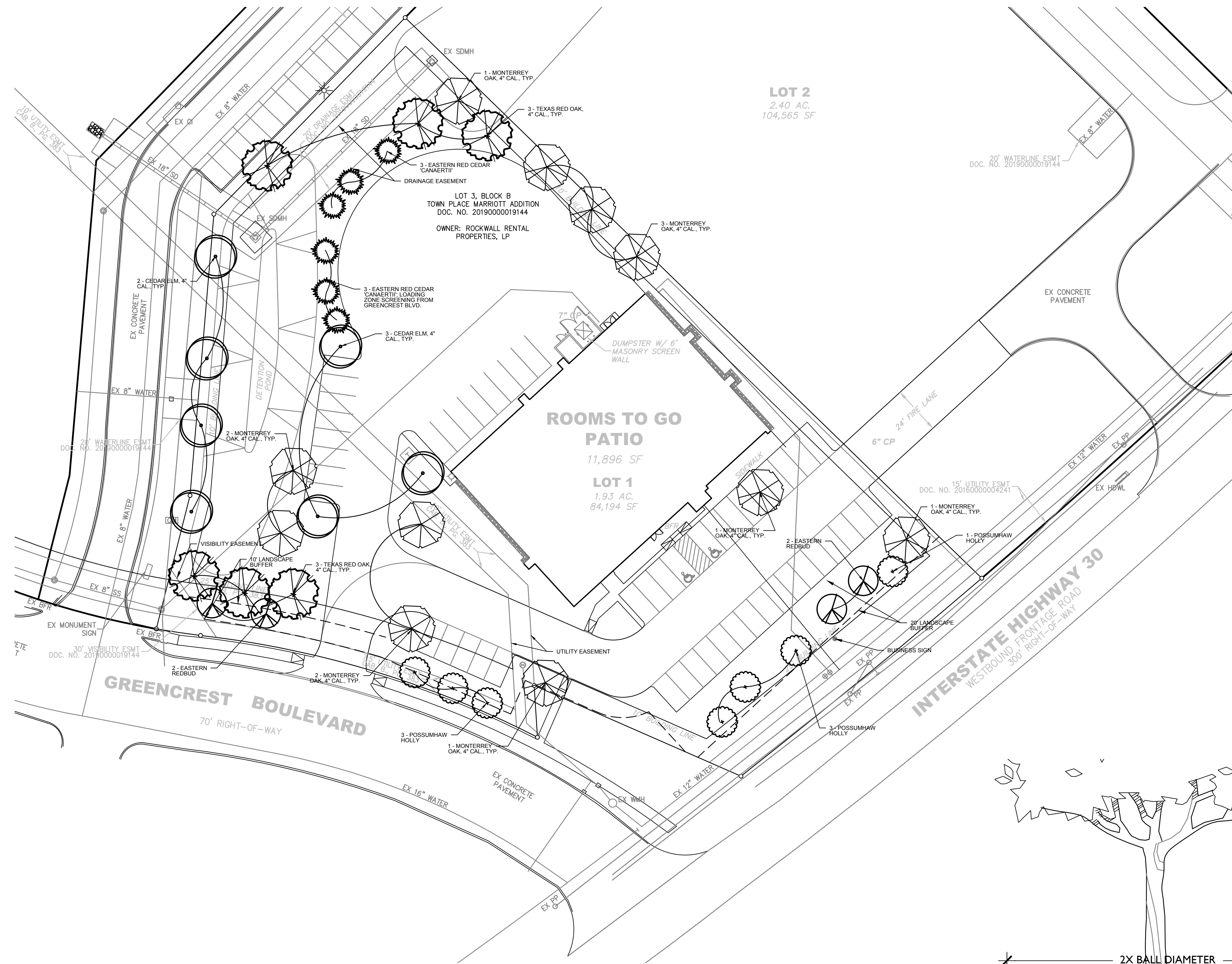
STONE	3009 SF	20%
CMU	5603 SF	38%
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STUCCO	2153 SF	15%
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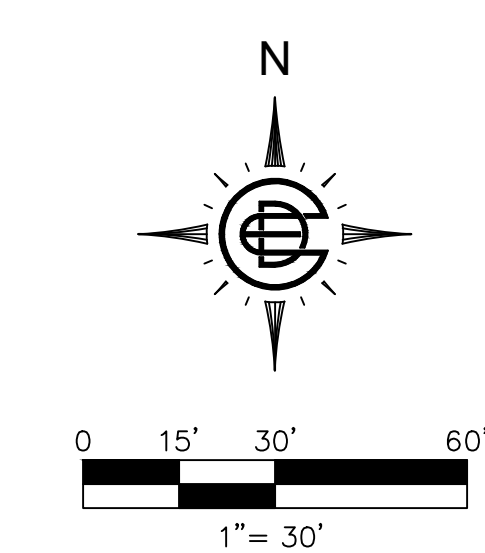
12 SUNNEN DR. SUITE. 100
ST. LOUIS, MO 63143
ARCHITECTS/ENGINEERS
314-821-1100



ROCKWALL, TEXAS
08/24/2022



SITE DATA	
LOT AREA:	1.93 ACRES (84,194 SF)
ZONING:	C (COMMERCIAL - IH 30 OVERLAY)
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	11,896 SQ. FT.
FLOOR/AREA RATIO:	0.14
PARKING REQUIRED:	48 SPACES (1/250)
PARKING PROVIDED:	48 SPACES
9'x18' ACCESSIBLE:	2 SPACES
TOTAL:	50 SPACES (1/238)
IMPERVIOUS AREA:	45,327 SQ. FT.
PERVIOUS AREA:	38,867 SQ. FT.
TOTAL:	84,194 SQ. FT.



SITE TREE REQUIREMENTS

NO EXISTING TREES ON SITE

REQUIRED SITE:
 IH30 FRONTAGE RD. (154 LF)
 2 CANOPY AND 4 ACCENTS TREES PER 100 LF OF STREET FRONTAGE EXCLUSIVE OF DRIVEWAYS:
 CANOPY TREES = 3 TREES
 ACCENT TREES = 6 TREES

GREENCREST BLVD. (278 LF)
 1 CANOPY AND 1 ACCENT TREE PER 50 LF OF STREET FRONTAGE EXCLUSIVE OF DRIVEWAYS:
 CANOPY TREES = 5 TREES
 ACCENT TREES = 5 TREES

NO PARKING SPACE SHALL BE FURTHER THAN 80' FROM A TREE

DETENTION AREA = 8,504 SF
 1 TREE PER 750 SF OF DETENTION AREA (8,504/750) = 11 TREES
 1 ACCENT TREE PER 1500 SF OF DETENTION AREA (8,504/1,500) = 5 TREES

PROVIDED SITE:
 IH30 FRONTAGE RD. (154 LF)
 2 CANOPY AND 4 ACCENTS TREES PER 100 LF OF STREET FRONTAGE EXCLUSIVE OF DRIVEWAYS:
 CANOPY TREES = 1 TREE*
 ACCENT TREES = 6 TREES

GREENCREST BLVD. (278 LF)
 1 CANOPY AND 1 ACCENT TREE PER 50 LF OF STREET FRONTAGE EXCLUSIVE OF DRIVEWAYS:
 CANOPY TREES = 5 TREES
 ACCENT TREES = 5 TREES

ALL PARKING SPACES WITH 80' FROM A TREE

DETENTION AREA TREES PROVIDED:
 12 CANOPY TREES PROVIDED
 8 ACCENT TREES PROVIDED*

*VARIANCE IS BEING REQUESTED FOR UDC CANOPY TREE REQUIREMENT ALONG IH30 FRONTAGE ROAD

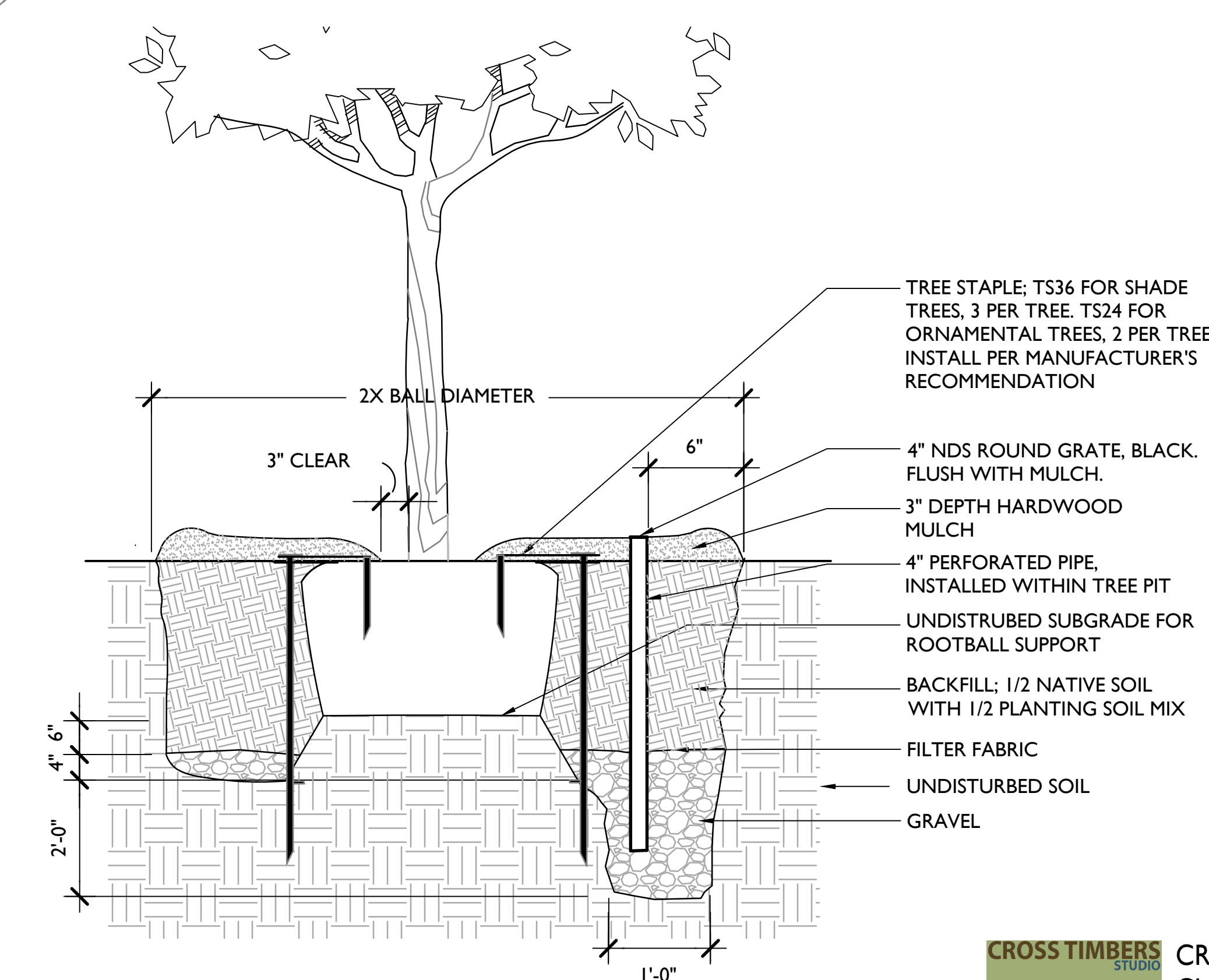
*REQUEST FOR EASTERN RED CEDAR 'CANAERTII' TO COUNT AS ACCENT TREE IN LIEU OF CANOPY TREE DUE TO SIZE AND BEING FULL TO GROUND TO SCREEN BACK OF HOUSE.

- GENERAL NOTES**
- REFERENCE DETAIL THIS SHEET FOR TREE PLANTING DETAIL.
 - AN AUTOMATIC, PERMANENT IRRIGATION WILL BE PROVIDED TO THE PROPOSED LANDSCAPE IMPROVEMENTS. IRRIGATION SHALL MEET ALL REQUIREMENTS OF THE CITY OF ROCKWALL UDC.
 - REFERENCE CIVIL PLANS FOR EXTENTS OF CONSTRUCTION LANDSCAPE SHALL COVER ALL DISTURBED AREAS UNLESS NOTED OTHERWISE ON PLANS.
 - COORDINATION WITH ADJACENT SITE CONTRACTORS WILL BE NECESSARY DURING INSTALLATION OF LANDSCAPE AND IRRIGATION ON SITE.
 - CONTRACTOR SHALL USE CAUTION DURING INSTALLATION OF LANDSCAPE AND IRRIGATION WHERE UTILITIES EXIST.
 - QUANTITIES MAY VARY BASED ON FIELD CONDITIONS. CONTRACTOR SHALL VERIFY QUANTITIES.
 - NO TREE SHALL BE CLOSER THAN 2 1/2 FEET TO PAVEMENT AND NO CLOSER THAN 5' TO ANY PUBLIC WATER, SEWER OR STORM THAT IS LESS 10" DIA. OR 10' WHERE UTILITY IS GREATER THAN 10" DIA.
 - ALL PARKING SPACES SHALL BE WITH 80' OF A TREE.
 - CONTRACTOR SHALL PROVIDE A SUBMITTAL TO THE LANDSCAPE ARCHITECT THAT INCLUDES ALL PLANT AND LANDSCAPE MATERIAL FOR APPROVAL PRIOR TO INSTALLATION.
 - ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY STATE BY LANDSCAPE CONTRACTOR AND WARRANTED (FOR REPLACEMENT) FOR ONE (1) CALENDAR YEAR AFTER ACCEPTANCE OF THE LANDSCAPE INSTALLATION.

TREE SCHEDULE

QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE / COMMENTS
LARGE CANOPY AND ORNAMENTAL TREES			
7 EA	CEDAR ELM	<i>Ulmus crassifolia</i>	100 gal., 4" cal. min. 10'-12' ht. x 6'-8' sp.
6 EA	TEXAS RED OAK	<i>Taxodium distichum</i>	100 gal., 4" cal. min. 10'-12' ht. x 6'-8' sp.
10 EA	MONTERREY OAK	<i>Quercus polymorpha</i>	100 gal., 4" cal. min. 10'-12' ht. x 6'-8' sp.
4 EA	EASTERN REDBUD	<i>Cercis canadensis</i>	45 gal., 6'-8' ht. x 4' sp., single trunk, tree form
7 EA	POSSUMHAW HOLLY	<i>Ilex decidua</i>	45 gal., 6'-8' ht. x 4' sp., single trunk, tree form
6 EA	EASTERN RED CEDAR 'CANAERTII'	<i>Juniperus virginiana 'Canaertii'</i>	45 gal., 6'-8' ht. x 4' sp. min. at base, full to ground

*ALL QUANTITIES ARE ESTIMATED AND SHOULD BE VERIFIED BY CONTRACTOR. QUANTITIES ARE BASED ON DESIGNED PLAN. FIELD ADJUSTMENTS MAY CAUSE FINAL QUANTITIES TO VARY FROM PLAN.



A ACCENT AND CANOPY TREE STAKING SECTION
 NOT TO SCALE

APPROVED
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022

WITNESS OUR HANDS, THIS ____ DAY OF ____, 2022

 Planning & Zoning Commission, Chairman Director of Planning & Zoning

CITY OF ROCKWALL CASE NO.: SP2022-039

#	MM/DD/YY	TEXT	REMARKS

OVERALL TREE PLAN

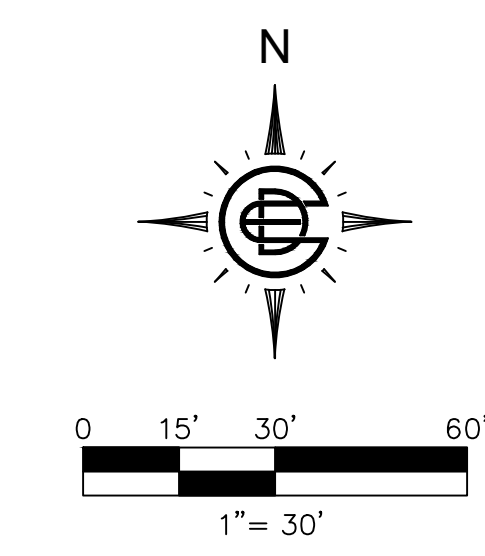
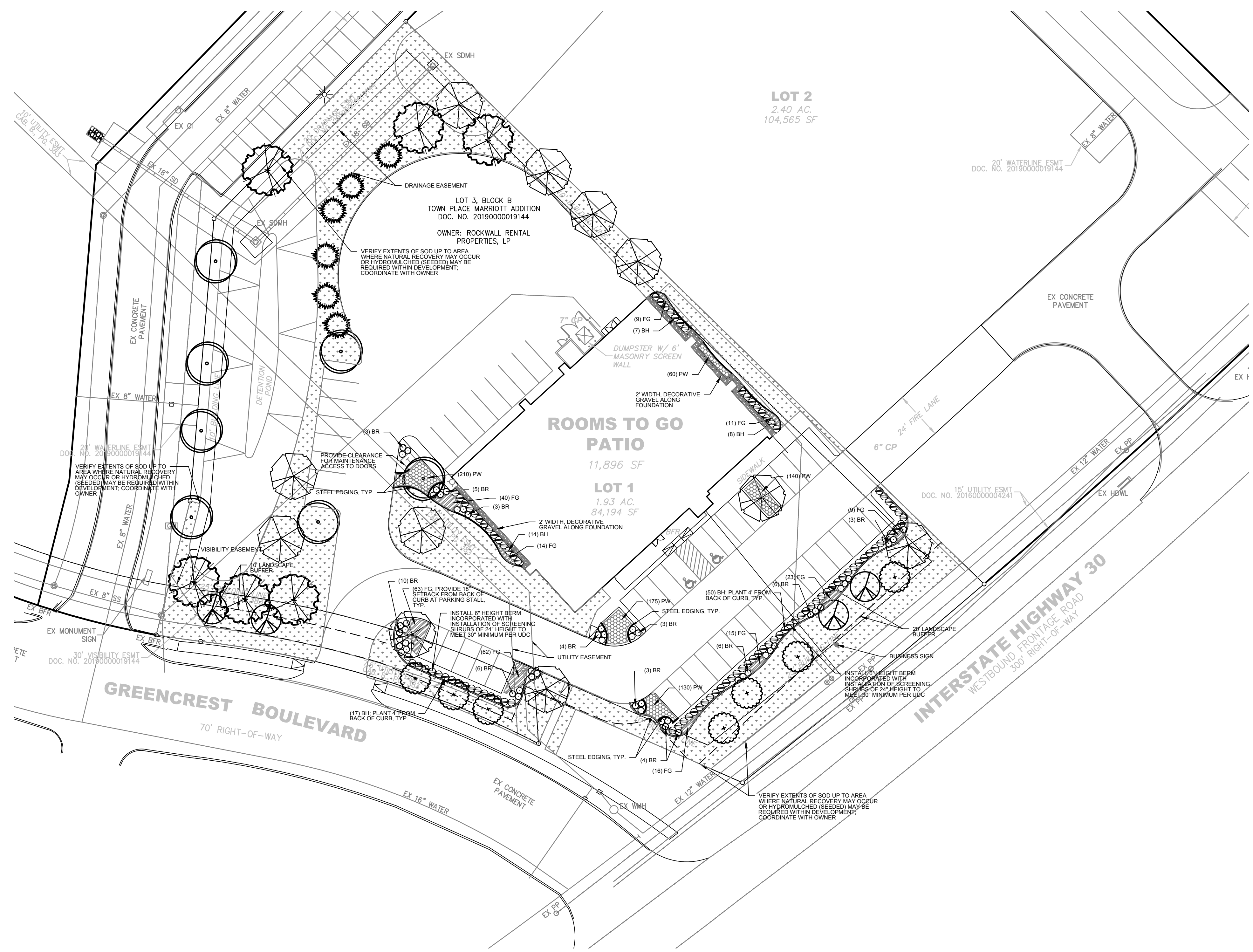
ROOMS TO GO PATIO
 904 E. INTERSTATE 30
 LOT 3, BLOCK A, TOWN PLACE MARRIOTT ADDITION

PRELIMINARY FOR REVIEW ONLY
 These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of: Clifton D. Hall L.A.#280G

ISSUE DATE: 08/25/22
 CITY FILE NO: SP2022-039

DEC FILE NO: 10046
 SHEET NO: L 1.1

CROSS TIMBERS STUDIO
 CROSS TIMBERS STUDIO
 CLIFTON HALL, ASLA
 GRANDVIEW, TX 76050
 PH: 972-896-1900
 TBAE REG. NUMBER: BR 3558



SITE DATA	
LOT AREA:	1.93 ACRES (84,194 SF)
ZONING:	C (COMMERCIAL - IH 30 OVERLAY)
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	11,896 SQ. FT.
FLOOR/AREA RATIO:	0.14
PARKING REQUIRED:	48 SPACES (1/250)
PARKING PROVIDED:	48 SPACES
9'x18' ACCESSIBLE	2 SPACES
TOTAL	50 SPACES (1/238)
IMPERVIOUS AREA:	45,327 SQ. FT.
PERVIOUS AREA:	38,867 SQ. FT.
TOTAL:	84194 SQ. FT.

SITE REQUIREMENTS

COMMERCIAL 20% REQUIRED SITE:
 20% OF TOTAL AREA TO BE DEVELOPED SHALL BE LANDSCAPED = 16,839 SF

PROVIDED SITE:
 >20% OF TOTAL AREA LANDSCAPED = +/- 37,000 SF

INTERIOR PARKING LOT LANDSCAPE

REQUIRED SITE:
 PARKING AND MANEUVERING GREATER THAN 20,000 SF:
 1 TREE REQUIRED PER 10 PARKING SPACES

PROVIDED SITE:
 5 TREES PROVIDED FOR 52 PARKING SPACES
 NO SITE CREDITS WERE USED IN CALCULATIONS

GENERAL NOTES

- REFERENCE SHEET L.1.3 FOR PLANTING DETAILS.
- AN AUTOMATIC, PERMANENT IRRIGATION WILL BE PROVIDED TO THE PROPOSED LANDSCAPE IMPROVEMENTS. IRRIGATION SHALL MEET ALL REQUIREMENTS OF THE CITY OF ROCKWALL UDC.
- REFERENCE CIVIL PLANS FOR EXTENTS OF CONSTRUCTION. LANDSCAPE SHALL COVER ALL DISTURBED AREAS UNLESS NOTED OTHERWISE ON PLANS.
- COORDINATION WITH ADJACENT SITE CONTRACTORS WILL BE NECESSARY DURING INSTALLATION OF LANDSCAPE AND IRRIGATION ON SITE.
- CONTRACTOR SHALL USE CAUTION DURING INSTALLATION OF LANDSCAPE AND IRRIGATION WHERE UTILITIES EXIST.
- QUANTITIES MAY VARY BASED ON FIELD CONDITIONS. CONTRACTOR SHALL VERIFY QUANTITIES.
- TREES AND SHRUBS SHALL BE INSTALLED 4' FROM BACK OF CURB.
- CONTRACTOR SHALL PROVIDE A SUBMITTAL TO THE LANDSCAPE ARCHITECT THAT INCLUDES ALL PLANT AND LANDSCAPE MATERIAL FOR APPROVAL PRIOR TO INSTALLATION.
- ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY STATE BY LANDSCAPE CONTRACTOR AND WARRANTED (FOR REPLACEMENT) FOR ONE (1) CALENDAR YEAR AFTER ACCEPTANCE OF THE LANDSCAPE INSTALLATION.

APPROVED
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022
 WITNESS OUR HANDS, THIS _____ DAY OF _____, 2022

 Planning & Zoning Commission, Chairman Director of Planning & Zoning

LANDSCAPE SCHEDULE

SYM.	QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE / COMMENTS
SHRUBS/ORNAMENTAL PLANTS				
	96 EA	DWARF BURFORD HOLLY (BH)	<i>Ilex cornuta 'Burfordii nana'</i>	7 gal., 24" ht. min. x 12"-14" sp., full
	56 EA	BARBERRY (BR)	<i>Berberis thunbergii 'Crimson Pygmy'</i>	5 gal., 10"-12" ht. x 10"-12" sp.,
ORNAMENTAL GRASS AND GROUNDCOVER				
	262 EA	MEXICAN FEATHERGRASS (FG)	<i>Nassella tenuissima</i>	1 gal., heavily rooted, full, 15" o.c. spacing
	715 EA	PURPLE WINTERCREEPER (PW)	<i>Evonymus fortunei 'coloratus'</i>	1 gal., 1"-2" ht. x 6"-8" sp, 12" o.c. spacing
TURF AND AGGREGATE				
	+/-22,860 SF	BERMUDAGRASS	<i>Cynodon dactylon</i>	sod, full
	+/-325 SF	DECORATIVE GRAVEL		6" depth, 1"-3" aggregate, New Mexico cobble or approved equal by Owner

- ALL QUANTITIES ARE ESTIMATED AND SHOULD BE VERIFIED BY CONTRACTOR. QUANTITIES ARE BASED ON DESIGNED PLAN. FIELD ADJUSTMENTS MAY CAUSE FINAL QUANTITIES TO VARY FROM PLAN.
- PER UDC ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT OF WAY LOCATED ADJACENT TO THE PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH A FULL STAND OF GRASS AS DEFINED AND APPROVED BY THE CITY.

CROSS TIMBERS STUDIO
 CROSS TIMBERS STUDIO
 CLIFTON HALL, ASLA
 GRANDVIEW, TX 76050
 PH: 972-896-1900
 TBAE REG. NUMBER: BR 3558

CITY OF ROCKWALL CASE NO.: SP2022-039

#	MM/DD/YY	TEXT	REMARKS
REV	DATE		

LANDSCAPE PLAN

ROOMS TO GO PATIO
 904 E. INTERSTATE 30
 LOT 3, BLOCK A, TOWN PLACE MARRIOTT ADDITION

PRELIMINARY FOR REVIEW ONLY
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 Clifton D. Hall
 L.A.#2806

DESIGN

ISSUE DATE	DEC FILE NO.
08/25/22	10046
CITY FILE NO.	SHEET NO.
SP2022-039	L.1.2

D-Series Size 2 LED Area Luminaire

Specifications:
 Efficacy: 115 lm/w
 Length: 36.0"
 Width: 12.0"
 Height: 3.5"
 Weight: 35 lbs

Introduction:
 The modern styling of the D-Series is strong yet understated - making a solid, progressive statement on the building's exterior with its environment. The D-Series details the benefits of the latest LED technology into a high performance, high efficiency area luminaire. The advanced photometric performance results in sites with excellent uniformity, greater color accuracy and lower power density. The Size 2 is ideal for replacing 300-1000 watt metal halide in area lighting applications with energy savings of up to 85% and expected service life of over 100,000 hours.

Ordering Information:
 EXAMPLE: DSK2 LED P3 40K T3M MVOLT SPA N2UR2 PIRIN D2010

Order Code	Quantity	Part Number	Description	Notes
DSK2	100	DSK2	DSK2 LED P3 40K T3M MVOLT SPA N2UR2 PIRIN D2010	

Ordering Information:
 One Alabama Way • Corvallis, Georgia 30524 • Phone: 1-800-551-5256 • www.littondina.com
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D-Series Size 1 LED Wall Luminaire

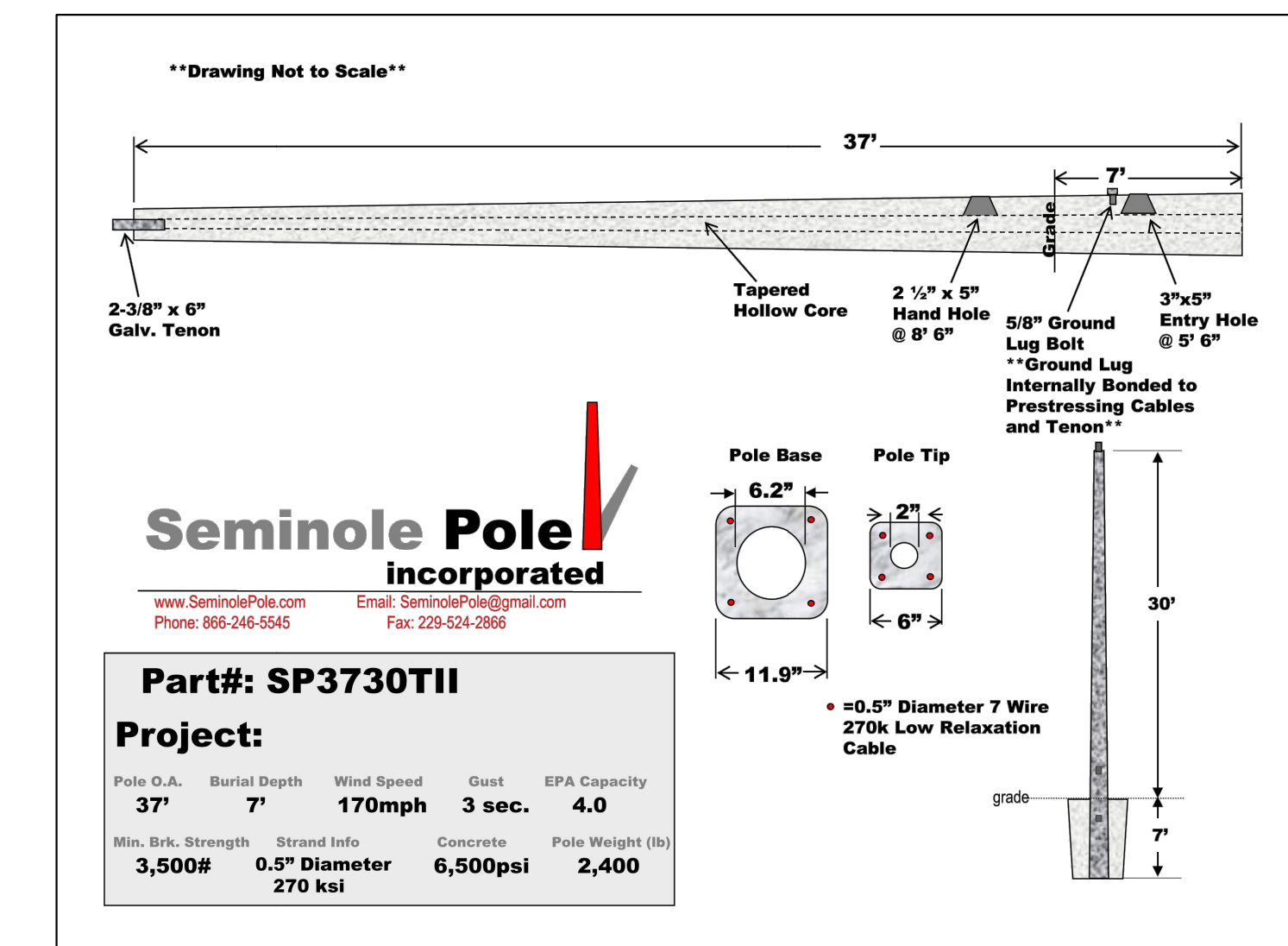
Specifications:
 Luminaire Weight: 12 lbs
 Depth: 12.0"
 Height: 6.25"
 Back Box (BBW, E20WC):
 Width: 12.0"
 Depth: 12.0"
 Height: 6.25"

Introduction:
 The D-Series Wall luminaire is a fully integrated LED solution for building mount applications. It features a sleek, modern design and is carefully engineered to provide long lighting and efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 35% in energy savings over comparable 200W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information:
 EXAMPLE: DSKW1 LED 20C 1000 40K T3M MVOLT D2010

Order Code	Quantity	Part Number	Description	Notes
DSKW1	100	DSKW1	DSKW1 LED 20C 1000 40K T3M MVOLT D2010	

Ordering Information:
 One Alabama Way • Corvallis, Georgia 30524 • Phone: 1-800-551-5256 • www.littondina.com
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BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ELECTRICAL CONTRACTOR SHALL DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

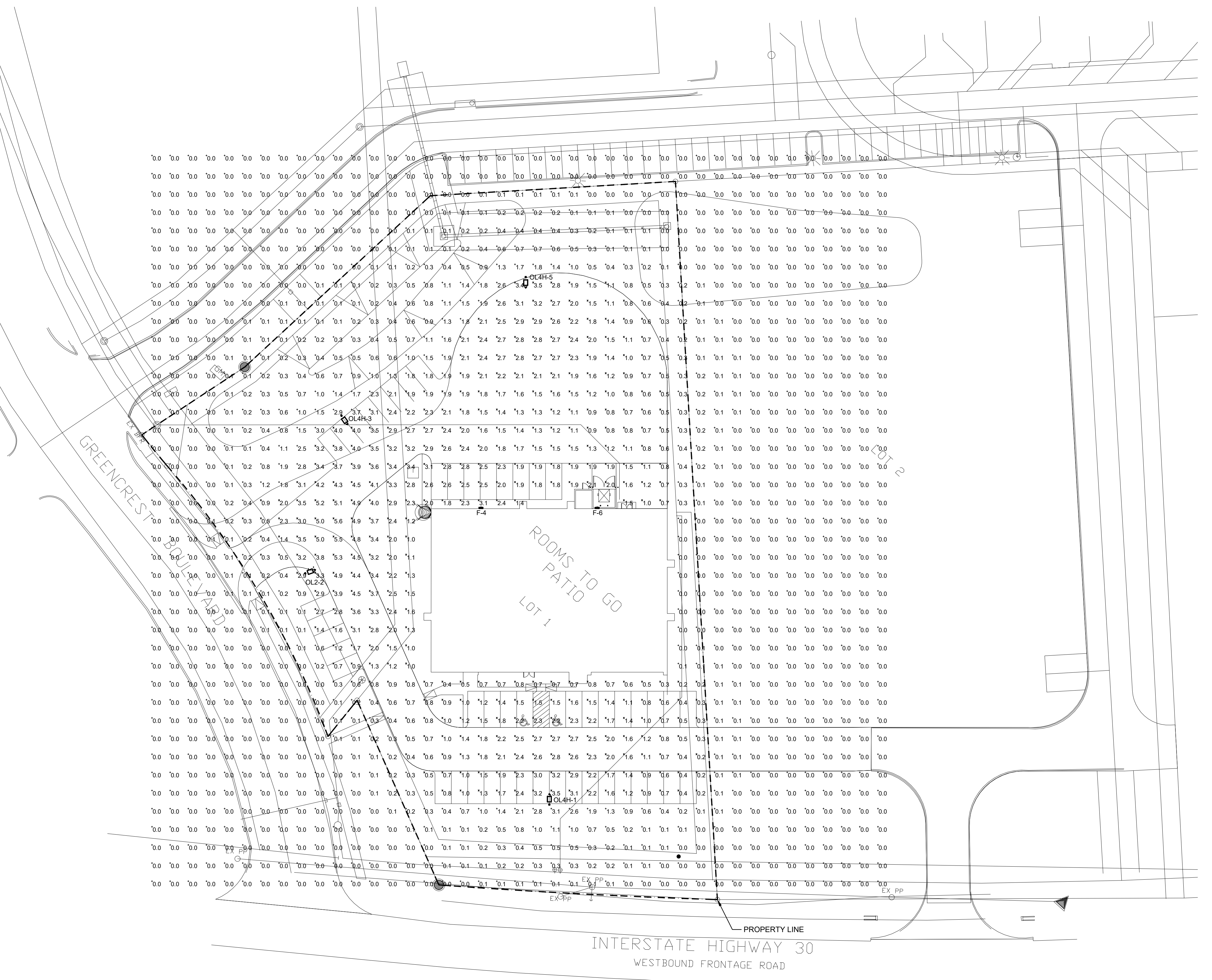
NOTES:

- SITE PHOTOMETRICS PERFORMED WITHOUT CONTRIBUTION OF EXISTING ADJACENT PARKING LOT OR STREETLIGHTS.
- REFER TO LUMINAIRE LOCATIONS FOR MOUNTING HEIGHT (MH).
- ILLUMINATION CALCULATIONS PERFORMED ON A MAINTAINED BASIS WITH LLF=0.91 FOR LED LUMINAIRE AT FINISHED GRADE.
- ALL LUMINAIRE USED FOR SITE LIGHTING SHALL BE FULL CUTOFF.
- ALL LUMINAIRE SHOWN IN SCHEDULE ARE "LITHONIA". EQUAL FULL CUTOFF LUMINAIRE WITH SAME TYPE OF DISTRIBUTION AND LIGHT SOURCE WILL BE CONSIDERED FOR APPROVAL.
- ANY DEVIATION FROM THE LUMINAIRE SHOWN WILL REQUIRE A PHOTOMETRICS PLAN TO ENSURE THE LUMINAIRE MEET EXTERIOR LIGHTING REQUIREMENTS.
- SITE LIGHTING POLES SHALL PRE-CAST CONCRETE POLES AS SHOWN ON LIGHT POLE DETAIL.
- ALL LUMINAIRE SHALL BE CONTROLLED BY PHOTOCELL ON, ASTRONOMICAL TIME CLOCK OFF, EXCEPT SECURITY LIGHTS CONTROLLED PHOTOCELL ON, PHOTOCELL OFF.
- ALL POLE MOUNT LUMINAIRE SHALL BE NATURAL ALUMINUM IN COLOR. WALL MOUNT LUMINAIRE SHALL BE WHITE IN COLOR.

2 SITE LUMINAIRE
 SCALE: NOT TO SCALE

WALL MOUNTED LUMINAIRE TYPE F

POLE MOUNTED LUMINAIRE - TYPE OL2 AND OL4H



1 SITE LIGHTING PHOTOMETRICS
 SCALE: 1" = 30'-0"

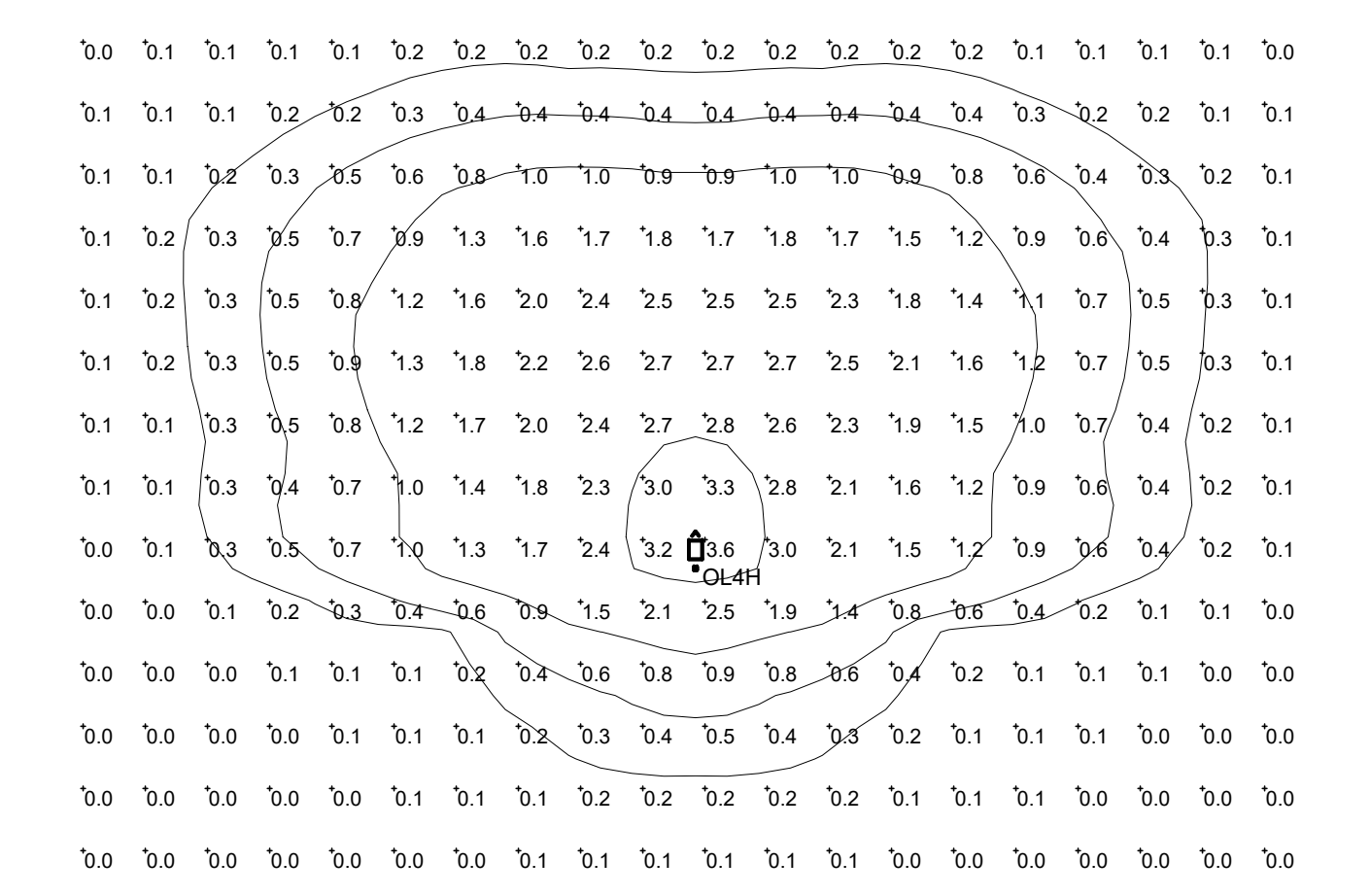


3 LIGHT POLE
 SCALE: NOT TO SCALE

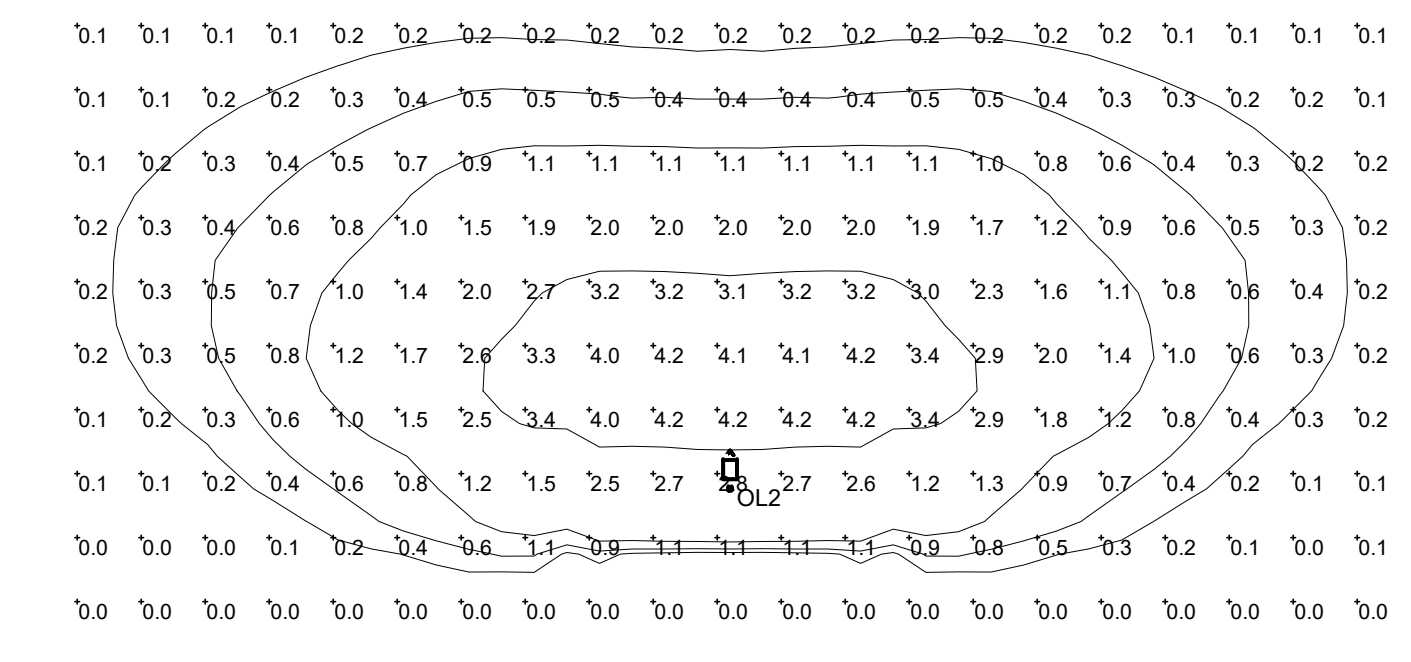
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
OL2	OL2	1	DSX2 LED P3 40K BLC MVOLT	DSX2 LED P3 40K BLC MVOLT	LED	DSX2_LED_P3_40K_BLC_MVOLT_ILS	23165	0.91	217
OL4H	OL4H	3	DSX2 LED P3 40K T3M MVOLT HS	DSX2 LED P3 40K T3M MVOLT with housesside shield	LED	DSX2_LED_P3_40K_T3M_MVOLT_HS_ILS	22060	0.91	217
F	F	2	DSKW1 LED 20C 1000 40K T3M MVOLT	DSKW1 LED WITH (2) 10 LED LIGHT ENGINES. TYPE: T3M OPTIC, 4000K @ 1000mA.	LED	DSKW1_LED_20C_1000_40K_T3M_MVOLT_ILS	7711	0.91	732

STATISTICS				
Description	Symbol	Avg	Max	Min
Area	+	0.6 fc	5.6 fc	0.0 fc
RTG Parking	x	1.9 fc	5.6 fc	0.2 fc

LUMINAIRE LOCATIONS				
No.	Label	MH	Orientation	Tilt
1	OL4H	30.0	0.0	0.0
2	OL2	30.0	70.0	0.0
3	OL4H	30.0	145.0	0.0
4	F	17.0	0.0	0.0
5	OL4H	30.0	180.0	0.0
6	F	17.0	0.0	0.0



LUMINAIRE TEMPLATES	
Label	Mounting Height
OL4H	30.0
OL2	30.0
F	17.0



4 TEMPLATES
 SCALE: 1" = 30'-0"

ROOMS TO GO
 LOT 3, BLOCK A,
 TOWN PLACE MARIOTT ADDITION,
 904 E. INTERSTATE 30
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS

PATIO SHOWROOM

CONSTR. DOC. & REVISIONS

No. Description SITE APPROVAL

Date 07/13/22

Drawn By/Checked By: ZT
 Project Number: 2202184
 Bid Date: _____
 Owner Date: _____

APPROVED
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.

WITNESS OUR HANDS, THIS _____ DAY OF _____, 2022

Planning & Zoning Commission, Chairman Director of Planning & Zoning

SITE LIGHTING PHOTOMETRICS

E0.2

CASCO
 12 Sumner Drive, Suite 100, St. Louis, MO 63143
 T: 314.821.1100

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/26/2022

PROJECT NUMBER: SP2022-043
PROJECT NAME: Site Plan for 607 White Hills Drive
SITE ADDRESS/LOCATIONS: 607 WHITE HILLS DR

CASE MANAGER: Bethany Ross
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: bross@rockwall.com

CASE CAPTION: Discuss and consider a request by Paul Cragun of Cumulus Design on behalf of Campfire Shops, LLC for the approval of a Site Plan for a Carwash, Restaurant, and Commercial/Retail Shopping Center on a 2.003-acre parcel of land identified Lot 4, Block A, Wal-Mart Super Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated along the east side of White Hills Drive south of Suncrest Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	08/26/2022	Approved w/ Comments

08/26/2022: SP2022-043; Site Plan for 607 White Hills Drive

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Paul Cragun of Cumulus Design on behalf of Campfire Shops, LLC for the approval of a Site Plan for a Carwash, Restaurant, and Commercial/Retail Shopping Center on a 2.003-acre parcel of land identified Lot 4, Block A, Wal-Mart Super Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated along the east side of White Hills Drive south of Suncrest Drive, and take any action necessary.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com. September 7, 2022 is the deadline to have all comments; please provide staff revised plans before September 7, 2022 to ensure all comments are addressed.

I.3 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.4 For reference, include the case number (SP2022-043) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02. D, Article 11, UDC)

M.5 Please provide a noise study for the proposed car wash. (See City of Rockwall Noise Ordinance – Chapter 16, VI Noise, Municipal Code of Ordinances)

M.5 Site Plan

(1) Indicate all utilities both existing and proposed on the site plan. (Subsection 0.04.B, of Article 11, UDC)

(2) Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings berms, or walls matching the main structure. (Subsection 01.05.C, Article 05, UDC)

(3) All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction. (Subsection 01.05.C, of Article 05, UDC)

(4) Provide an exhibit of the dumpster enclosure. Trash/Recycling Enclosures shall be four (4) sided. These receptacles shall be screened by a minimum eight (8) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. These enclosures shall be located to the side or rear of the primary building, and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building. (Subsection 06.02.D.7, Article 05, UDC)

- (5) Indicate if there will be vacuum bays for the car wash and show them on the site plan.

M.6 Landscape Plan

- (1) Provide a 10' landscape buffer along the north and south property lines of the site. All landscape buffers shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a total minimum height of 30-inches. In these areas a minimum of one (1) canopy tree and one (1) accent tree shall be incorporated into the landscape buffer per 50-linear feet of frontage. Clustering of trees shall be permitted as long as all required trees are situated within the landscape buffer. (Subsection 05.01.B.1, Article 08, UDC).
- (2) Cluster landscape screening in the northeast and northwest corners of the site to prevent the entrance and exit of the car wash from being visible from the roadways. (i.e. Canopy trees, accent trees, and shrubs)
- (3) Vitex (Chaste) is a prohibited tree. (Table 1, Appendix C, UDC)
- (4) Crepe Myrtle is not an approved accent tree. (Appendix C, UDC)
- (5) Chinquapin Oak is not an approved Canopy tree in the IH-30 Overlay District. (Table 1, Appendix C, UDC)
- (6) Lindheimer's muhly shall not be used as screening bushes.
- (7) All shrubs must be at least 5 gallon. (Subsection 06.02.E2, Article 05, UDC)
- (8) All Canopy trees shall be a minimum of 4 inch caliper. (Subsection 07.01, Article 09, UDC)
- (9) Identify visibility triangles for all driveway intersections and public streets. (Subsection 01.08, of Article 05, UDC)
- (10) Trees must be planted five feet from water, sewer, and storm sewer lines. (Subsection 05.03.E, of Article 08, UDC)
- (11) Ground mounted equipment and air conditioning units shall be screened utilizing plantings, berms, walls matching the main structure, or an architectural feature that is integral to the building's design. (Subsection 01:05.C, Article 05, UDC)
- (12) Additional landscape screening shall be installed adjacent to drive-through lanes to impair the visibility and impact of head-lights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space. (Subsection 02.03.F.10, Article 04, UDC)
- (13) Head-in parking adjacent to a street shall incorporate a minimum of a two (2) foot berm with mature evergreen shrubs along the entire adjacency of the parking areas. (Subsection 05.02.C, Article 06, UDC).

M.7 Photometric Plan

- (1) Provide the same site data information required on the Site Plan.
- (2) Please indicate the FC measurement for each of the proposed lights. The maximum outdoor maintained, computed, and measured illumination level within any nonresidential development shall not exceed 20 FC at any point on the site. (Subsection 03.03.G, of Article 07, UDC)
- (3) The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. (Subsection 3.03.C, of Article 07, UDC)
- (4) Provide Lighting Cut sheets that indicates the wattage for each exterior lighting fixture. (Subsection 03.03.A, Article 07, UDC)

M.8 Building Elevations

- (1) Indicate exterior elevations adjacent to public right-of-way.
- (2) Exterior walls should consist of 90% masonry materials and 20% stone excluding doors and windows. (Subsection 06.02.C, of Article 05, UDC)
- (3) Primary Materials shall include stone, brick, glass curtain wall, glass block, tile, and custom Concrete Masonry Units (CMU) (i.e. CMUs that have been sandblasted, burnished or that have a split face -- light weight block or smooth faced CMU shall be prohibited). (Subsection 06.02.C.1 (a), of Article 05, UDC).
- (4) Cementitious materials shall be limited to 50% of the building's exterior façade and stucco shall not be used within the first four (4) feet from grade on a building's façade. (Subsection 06.02C. 1(a.2), of Article 05, UDC)
- (5) Indicate the surface area of each façade and the percentage and square footage of each material used on that façade. (Subsection 04.01, Article 05, UDC)
- (6) Indicate the roofing materials and color. (Subsection 04.01A.1, of Article 05, UDC).
- (7) Indicate all roof mounted mechanical equipment and indicate how these will be screened from view (i.e. screening with parapets taller than the RTUs or adding louver screening). (Subsection 01.05.C, of Article 05, UDC)
- (8) All parapets shall be extended back and finished on the interior side using the same materials as the exterior facing wall. (Subsection 04.01, of Article 05, UDC)
- (9) The proposed buildings' facades do not meet the Commercial Building Articulation Standards. (Subsection 04.01.C, of Article 05, UDC)
- (10) All buildings within a common retail, commercial or office development shall incorporate complementary architectural styles, materials, and colors. Staff may require a

conceptual façade plan and/or sample boards for these types of developments to ensure consistency and compatibility for all buildings within a proposed development.

Conceptual façade plans will be used only to ensure compliance to the minimum standards. (Subsection 06.02.C.7)

(11) All structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. (Subsection 06.02.C.2)

(12) All buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building (Subsection 06.02.5, of Article 05, UDC).

M.9 Based on the materials submitted staff has identified the following exceptions and variances for this project:

(1) Primary Materials. According to Subsection 05.01A1.a of Article 05, Development Standards, of the Unified Development Code (UDC), exterior walls should consist of 90% masonry materials. In this case, building A and B do not incorporate 90% masonry materials.

(2) 20% Stone. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), a minimum of 20% natural or quarried stone is required on all building façades. In this case, building A does not appear to meet the minimum 20% stone requirement.

(3) Four-sided Architecture. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "all buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building." In this case, the proposed building do not meet our articulation standards for all four (4) facades and there is not an additional row of trees proposed at the back of the property.

(4) Cementitious Materials. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "(t)he use of cementitious materials (e.g. stucco, cementitious lap siding, or similar materials approved by the Director of Planning and Zoning or his/her designee) shall be limited to 50% of the building's exterior façade; however, stucco shall not be used within the first four (4) feet from grade on a building's façade." In this case, building A is using painted fiber cement board within the first four (4) feet from grade on all four (4) facades.

(5) Office Parks, Shopping Centers, and Mixed-Use Centers. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "All buildings within a common retail, commercial or office development shall incorporate complementary architectural styles, materials, and colors. Staff may require a conceptual façade plan and/or sample boards for these types of developments to ensure consistency and compatibility for all buildings within a proposed development. Conceptual façade plans will be used only to ensure compliance to the minimum standards." In this case, none of the proposed buildings match in colors, materials, or architectural styles.

(6) Roof Design Standards. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. Those structures having a footprint 6,000 SF or greater shall have the option of being constructed with either a pitched, parapet, or mansard roof system as long as the roof system is enclosed on all sides. Standing seam metal roofs shall be constructed of a factory-treated, non-metallic, matte finish to avoid glare. Metal roofs with lapped seam construction, bituminous built-up roofs, and/or flat membranetype roofs that are visible from adjacent public right-of-way shall be prohibited." In this case, all three (3) of the proposed buildings do not meet this standard.

M. 10 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and subsequent two (2) compensatory measures for each exception or variance. (Subsection 09.02, of Article 11). Compensatory measures to consider:

- (1) Higher caliper trees.
- (2) Additional landscaping.
- (3) Increased building articulation.
- (4) Increased architectural elements.

M.11 Please review and correct all items listed by the Engineering Department.

I.12 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on August 30, 2022.
- (2) Planning & Zoning meeting/public hearing meeting will be held on September 13, 2022.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present

their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	08/25/2022	Needs Review

- 08/25/2022: - Must be 24' min. for 90 degree parking spaces. Look at revising parking to be angled.
- Need firelane easement from Walmart. Paving to have Fire Lane strength, if needed for fire lane.
 - Dumpster to drain to an oil/water separator or grease trap before draining to the storm lines. Angle dumpsters so a truck only has to pass through the site once.
 - Need firelane easement from Walmart. Paving to have Fire Lane strength, if needed for fire lane.
 - Must detain for the area adjacent to White Hills Dr. See markup.

The following information is for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:

- Detention is required for blue box shown.

Roadway Paving Items:

- Parking to be 20'x9'.
- Drive isles to be 24' wide.
- No dead-end parking allowed without a turnaround.
- Fire lane to have 20' min radius. Fire lane to be in a platted easement. If building is 30' or taller, the fire lane radii must be 30' minimum.
- Sidewalk a minimum of 5' wide required along White Hills Dr.

Water and Wastewater Items:

- Existing and proposed water, sewer, and detention area must be shown on site plan
- May need an 8" looped water line through the site if the below criteria isn't meet
- Only one "use" can be off a dead-end water line (Domestic service, irrigation, fire hydrant, or fire line).
- May need a fire hydrant (check with the fire marshal's office)
- Dumpster area to drain to an oil/water separator or grease trap before draining to the storm lines.
- Before abandoning sewer, must camera sewer line to verify that there are no services that connect to the line. Video must be provided to the City with signed/sealed letter from the design engineer.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	08/24/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/24/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/22/2022	Approved w/ Comments

08/22/2022: +Address assignments:+

2555sf Building: 607 WHITE HILLS DR, ROCKWALL, TX 75087

3000sf Building: 772 E INTERSTATE 30, ROCKWALL, TX 75087

3290sf Building: 774 E INTERSTATE 30, ROCKWALL, TX 75087

*Suite numbers will be assigned at Permitting following the guidelines:

<http://www.rockwall.com/pz/GIS/AddressingStandards.pdf>

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/23/2022	Approved

No Comments

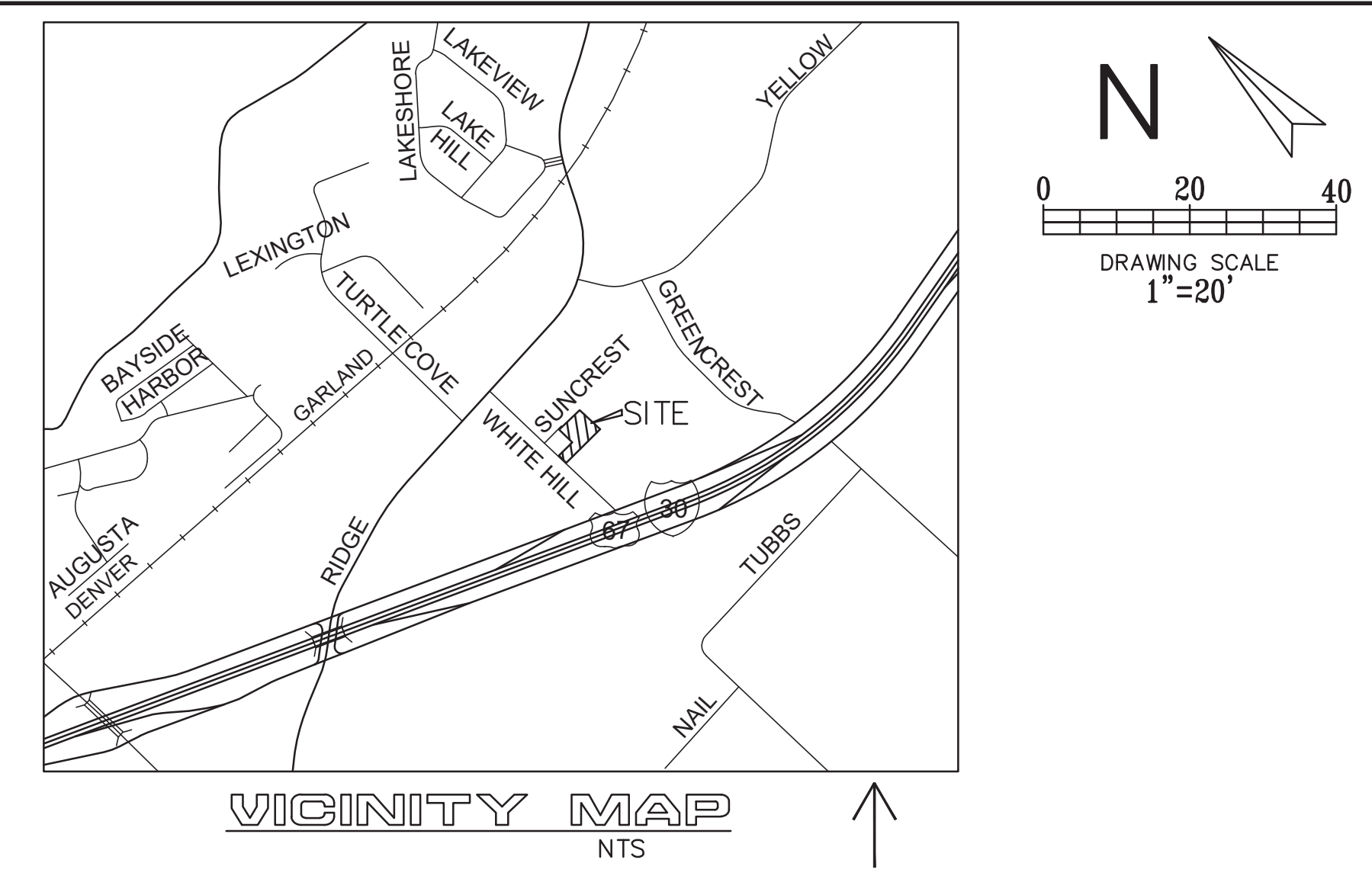
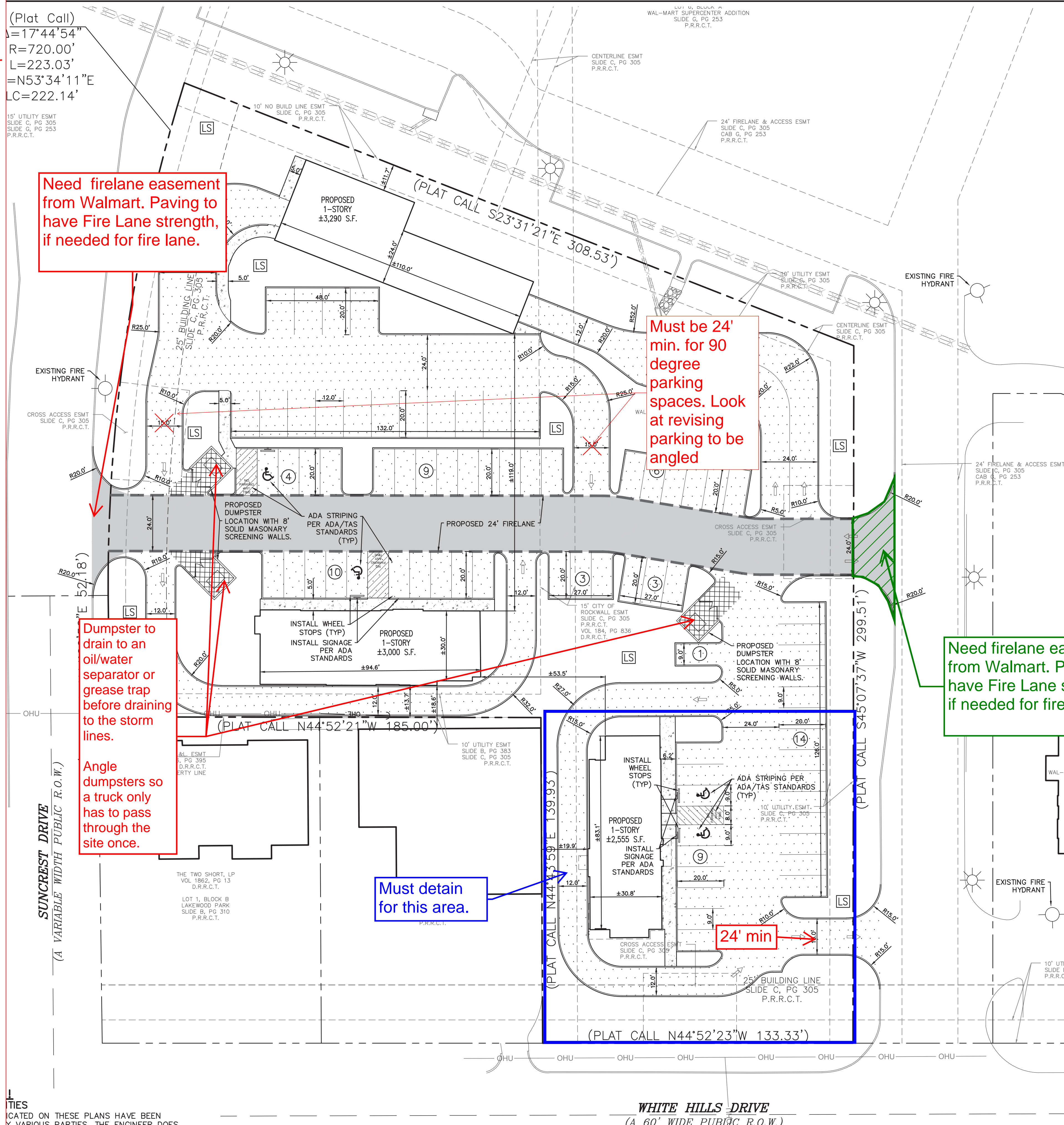
- General Items:**
- Must meet City Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Wastewater & Roadway)
 - Minimum easement width is 20' for new easements. No structures allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls must be rock or stone face. No smooth concrete walls.

- Drainage Items:**
- Detention is required for blue box shown.

- Roadway Paving Items:**
- Parking to be 20'x9'.
 - Drive isles to be 24' wide.
 - No dead-end parking allowed without a turnaround.
 - Fire lane to have 20' min radius. Fire lane to be in a platted easement. If building is 30' or taller, the fire lane radii must be 30' minimum.
 - Sidewalk a minimum of 5' wide required along White Hills Dr.

- Water and Wastewater Items:**
- Existing and proposed water, sewer, and detention area must be shown on site plan
 - May need an 8" looped water line through the site if the below criteria isn't meet
 - Only one "use" can be off a dead-end water line (Domestic service, irrigation, fire hydrant, or fire line).
 - May need a fire hydrant (check with the fire marshal's office)
 - Dumpster area to drain to an oil/water separator or grease trap before draining to the storm lines.
 - Before abandoning sewer, must camera sewer line to verify that there are no services that connect to the line. Video must be provided to the City with signed/sealed letter from the design engineer.

- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



SITE DATA TABLE	
ZONING:	C (COMMERCIAL/IH30 OVERLAY)
LAND USE:	RETAIL/RESTAURANT/CAR WASH
SITE ACREAGE:	2.00 ACRES (87,319 SQ FT)
BUILDING FOOTPRINTS:	8,845 SQUARE FEET
BUILDING AREAS:	8,845 SQUARE FEET
OPEN SPACE:	29,600/87,319 : 33.9%
PAVED SURFACE AREA:	48,874/87,319 : 56.0%
BUILDING HEIGHT:	1 STORY (20'-0" HEIGHT)
PARKING REQUIRED:	RESTAURANT (1/100) RETAIL (1/250) CAR WASH (1/250)
ACCESSIBLE PARKING REQUIRED:	3 PARKING SPACES
PARKING PROVIDED:	26 PARKING SPACES 12 PARKING SPACES 14 PARKING SPACES 52 PARKING SPACES 59 PARKING SPACES (4 ACCESSIBLE PARKING SPACES INCLUDED)

- LEGEND**
- EXISTING CURB
 - PROPOSED CURB
 - PARKING SPACES IN A ROW
 - PROPOSED LANDSCAPING
 - 4" PROPOSED SIDEWALK 3,600 PSI REINFORCED CONCRETE WITH #3 BARS AT 18" CENTERS. (MINIMUM 6.5 SACK MIX)
 - 6" PROPOSED PAVEMENT 4,500 PSI REINFORCED CONCRETE WITH #3 BARS AT 18" CENTERS. (MINIMUM 7.0 SACK MIX).
 - 7" 4,500 MINIMUM PSI REINFORCED CONCRETE ON STABILIZED AND COMPACTED SUBGRADE PER GEOTECHNICAL REPORT. (MINIMUM 7.0 SACK MIX) (PROPOSED FIRE LANE)
 - 8" 4,500 PSI REINFORCED (NO. 5 @ 18" ON CENTER, EACH WAY) CONCRETE PAVEMENT ON COMPACTED SUBGRADE (PER GEOTECHNICAL REPORT) (MINIMUM 7.0 SACK MIX).

- SITE NOTES:**
- THE BUILDINGS WILL NOT BE FIRE SPRINKLERED.
 - ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE INDICATED.
 - ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
 - ANY CONSTRUCTION OR BUILDING NECESSARY TO COMPLETE THIS SITE PLAN REQUEST MUST CONFORM TO THE REQUIREMENTS SET FORTH BY THE UNIFIED DEVELOPMENT CODE, THE 2015 INTERNATIONAL BUILDING CODE, THE ROCKWALL MUNICIPAL CODE OF ORDINANCES, CITY ADOPTED ENGINEERING AND FIRE CODES AND WITH ALL OTHER APPLICABLE REGULATORY REQUIREMENTS ADMINISTERED AND/OR ENFORCED BY THE STATE AND FEDERAL GOVERNMENT.
 - THE MECHANICAL EQUIPMENT SHALL BE ROOF MOUNTED AND BE SCREENED FROM PUBLIC VIEW.

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____

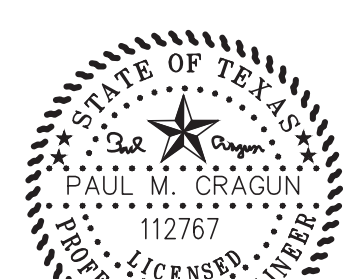
WITNESS OUR HANDS, THIS _____ DAY OF _____

PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____

REVISIONS		
REV. NO.	DATE	DESCRIPTION

OWNER/DEVELOPER:
CAMPFIRE SHOPS LLC
1625 FERRIS ROAD
GARLAND, TEXAS 75044
PH: (214) 215-1186
CONTACT: SAMMY JIBRIN

ENGINEER:
CUMULUS DESIGN, INC.
FIRM NUMBER: 14810
2080 NORTH HIGHWAY 360, SUITE 240
GRAND PRAIRIE, TEXAS 75050
PH: (214) 235-0367
CONTACT: PAUL CRAGUN



SITE PLAN
ROCKWALL RETAIL
607 WHITE HILLS DRIVE
WAL-MART SUPER CENTER ADDITION,
BLOCK A, LOT 4
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CITY CASE NUMBER	DATE	SHEET
	08/03/22	SP

NOTES:
LOCATIONS SHOWN ON THESE PLANS HAVE BEEN VERIFIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT GUARANTEE THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO TAKE PRECAUTIONS TO PROTECT ALL UTILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING UTILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
CALL: TEXAS ONE CALL @ 811 AT LEAST 72 HRS PRIOR TO CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 607 White Hills Drive

SUBDIVISION WAL-MART SUPER CENTER

LOT 4

BLOCK A

GENERAL LOCATION To the East of the intersection of Suncrest and White Hills Drives

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C

CURRENT USE Vacant

PROPOSED ZONING NA

PROPOSED USE Restaurant/Retail/Carwash

ACREAGE 2.0

LOTS [CURRENT] 1

LOTS [PROPOSED] NA

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Campfire Shops LLC

APPLICANT Cumulus Design

CONTACT PERSON Sammy Jibrin

CONTACT PERSON Paul Cragun

ADDRESS 1625 Ferris Road

ADDRESS PO Box 2119

CITY, STATE & ZIP Garland, Texas 75044

CITY, STATE & ZIP Euless, Texas 76039

PHONE 214-215-1186

PHONE 214-235-0367

E-MAIL SJibrin@gmail.com

E-MAIL Paul@Cumulusdesign.net

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Sammy Jibrin [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

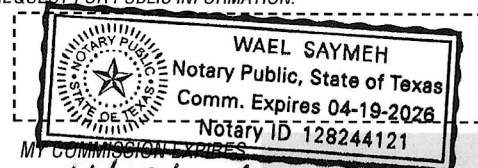
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 290.00, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF AUGUST, 20 22 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF AUGUST, 20 22

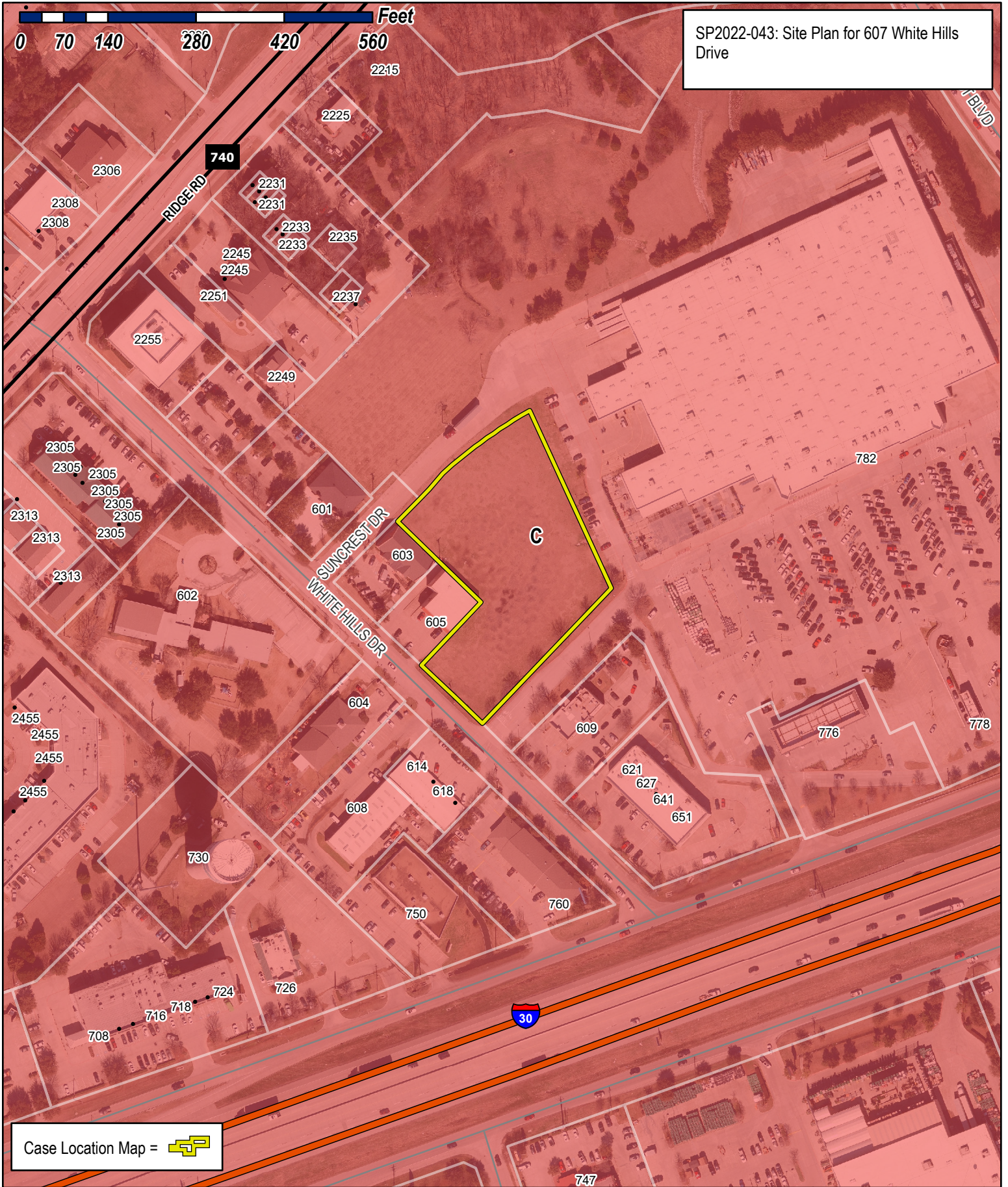
OWNER'S SIGNATURE

[Signature]
[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 4/19/2026



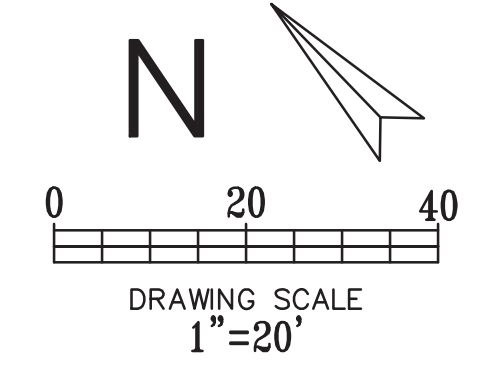
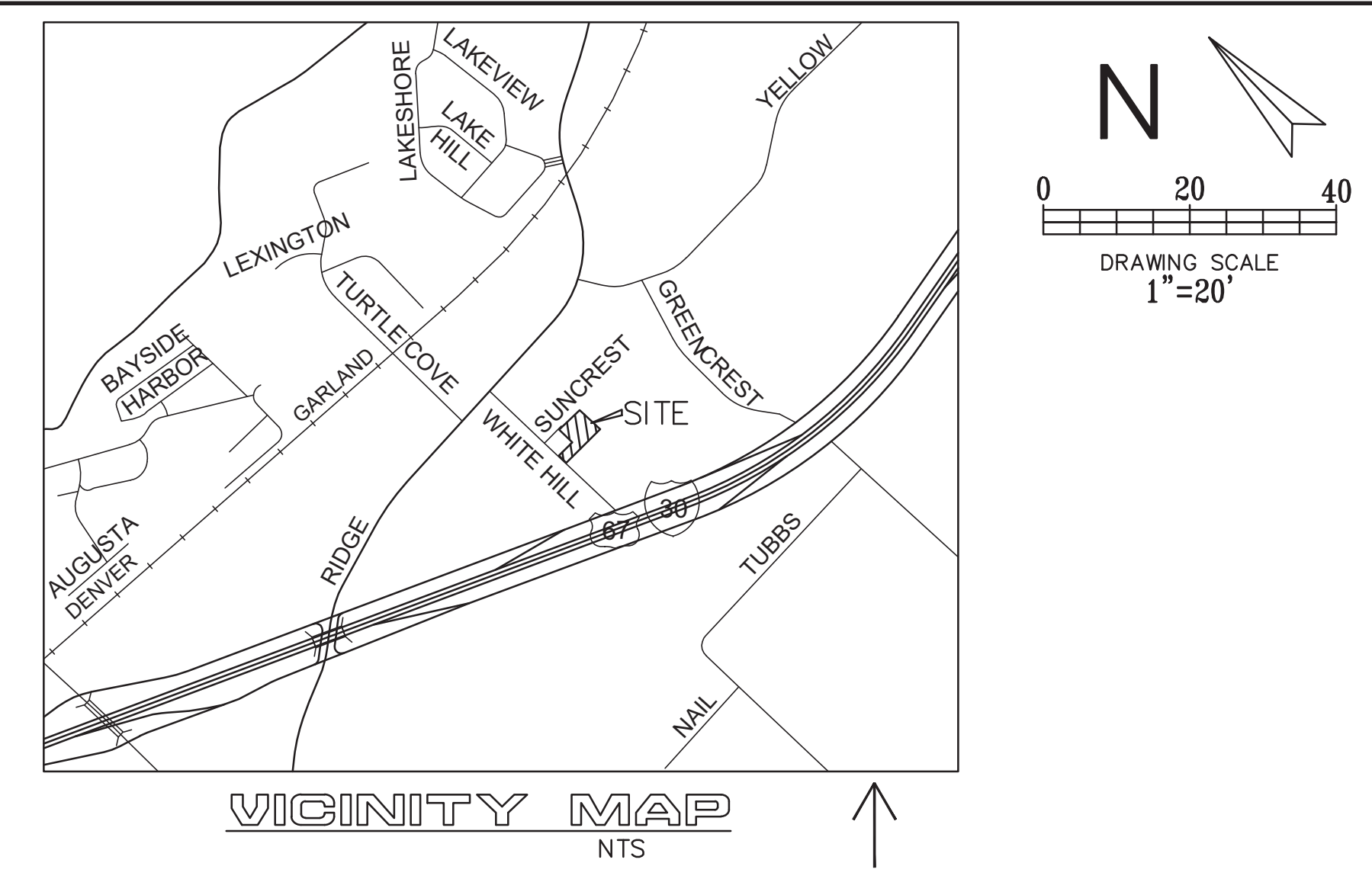
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



(Plat Call)
 $\Delta = 17'44'54''$
 $R = 720.00'$
 $L = 223.03'$
 $CB = N53'34'11''E$
 $LC = 222.14'$



SITE DATA TABLE	
ZONING:	C (COMMERCIAL/IH30 OVERLAY)
LAND USE:	RETAIL/RESTAURANT/CAR WASH
SITE ACREAGE:	2.00 ACRES (87,319 SQ FT)
BUILDING FOOTPRINTS:	8,845 SQUARE FEET
BUILDING AREAS:	8,845 SQUARE FEET
OPEN SPACE:	29,600/87,319 : 33.9%
PAVED SURFACE AREA:	48,874/87,319 : 56.0%
BUILDING HEIGHT:	1 STORY (20'-0" HEIGHT)
PARKING REQUIRED:	RESTAURANT (1/100) RETAIL (1/250) CAR WASH (1/250) TOTAL:
ACCESSIBLE PARKING REQUIRED:	3 PARKING SPACES
PARKING PROVIDED:	59 PARKING SPACES (4 ACCESSIBLE PARKING SPACES INCLUDED)

- LEGEND**
- EXISTING CURB
 - PROPOSED CURB
 - Ⓢ - PARKING SPACES IN A ROW
 - Ⓛ - PROPOSED LANDSCAPING
 - 4" PROPOSED SIDEWALK 3,600 PSI REINFORCED CONCRETE WITH #3 BARS AT 18" CENTERS. (MINIMUM 6.5 SACK MIX)
 - 6" PROPOSED PAVEMENT 4,500 PSI REINFORCED CONCRETE WITH #3 BARS AT 18" CENTERS. (MINIMUM 7.0 SACK MIX).
 - 7" 4,500 MINIMUM PSI REINFORCED CONCRETE ON STABILIZED AND COMPACTED SUBGRADE PER GEOTECHNICAL REPORT. (MINIMUM 7.0 SACK MIX).
 - 8" 4,500 PSI REINFORCED (NO. 5 @ 18" ON CENTER, EACH WAY) CONCRETE PAVEMENT ON COMPACTED SUBGRADE (PER GEOTECHNICAL REPORT) (MINIMUM 7.0 SACK MIX).

- SITE NOTES:**
- THE BUILDINGS WILL NOT BE FIRE SPRINKLERED.
 - ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE INDICATED.
 - ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
 - ANY CONSTRUCTION OR BUILDING NECESSARY TO COMPLETE THIS SITE PLAN REQUEST MUST CONFORM TO THE REQUIREMENTS SET FORTH BY THE UNIFIED DEVELOPMENT CODE, THE 2015 INTERNATIONAL BUILDING CODE, THE ROCKWALL MUNICIPAL CODE OF ORDINANCES, CITY ADOPTED ENGINEERING AND FIRE CODES AND WITH ALL OTHER APPLICABLE REGULATORY REQUIREMENTS ADMINISTERED AND/OR ENFORCED BY THE STATE AND FEDERAL GOVERNMENT.
 - THE MECHANICAL EQUIPMENT SHALL BE ROOF MOUNTED AND BE SCREENED FROM PUBLIC VIEW.

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____

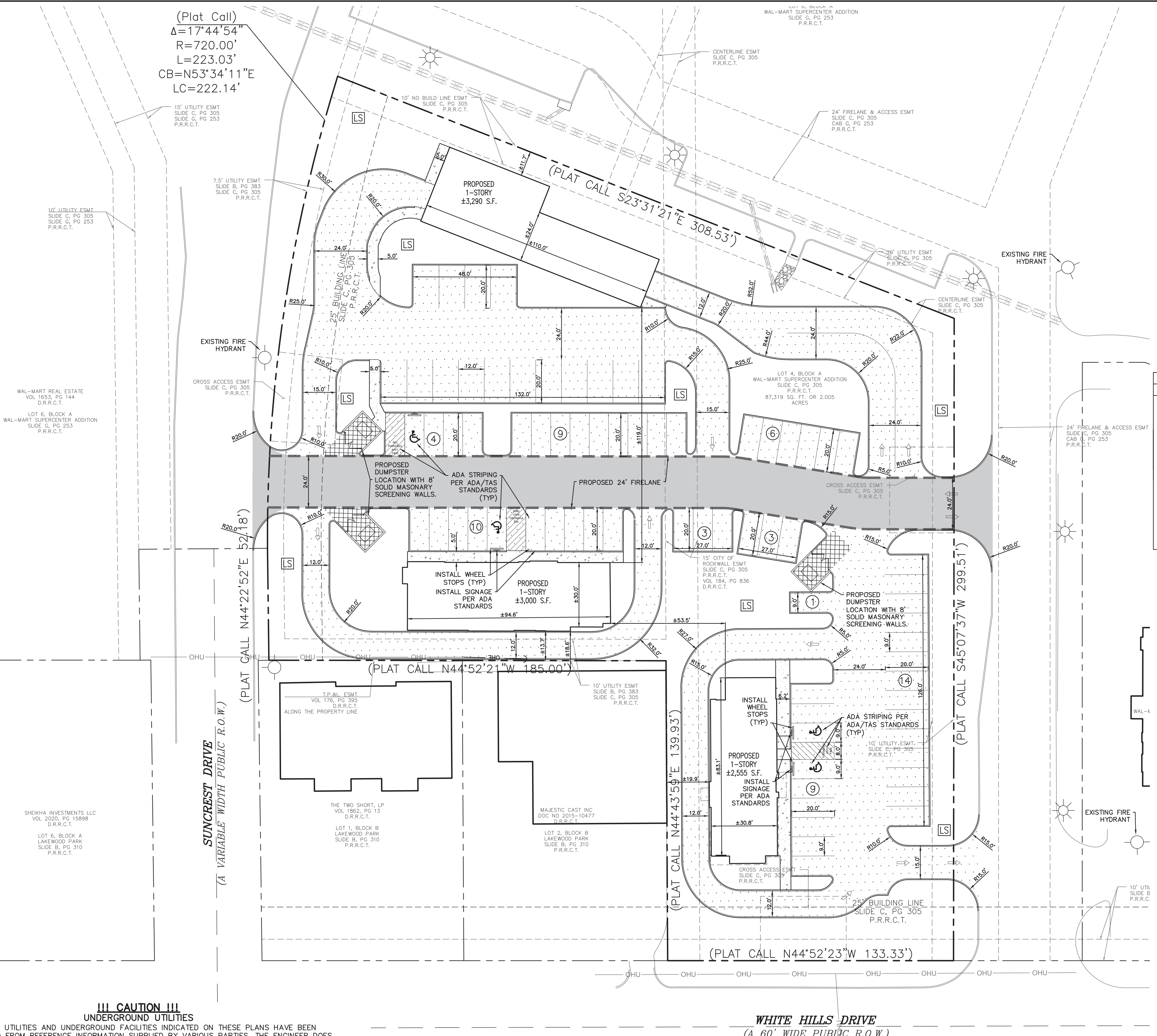
WITNESS OUR HANDS, THIS _____ DAY OF _____

PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____

SITE PLAN		
ROCKWALL RETAIL		
607 WHITE HILLS DRIVE		
WAL-MART SUPER CENTER ADDITION, BLOCK A, LOT 4		
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS		
CITY CASE NUMBER	DATE	SHEET
	08/03/22	SP



FOR REVIEW, NOT FOR CONSTRUCTION.



REVISIONS		
REV NO.	DATE	DESCRIPTION

OWNER/DEVELOPER:
 CAMPFIRE SHOPS LLC
 1625 FERRIS ROAD
 GARLAND, TEXAS 75044
 PH: (214) 215-1186
 CONTACT: SAMMY JIBRIN

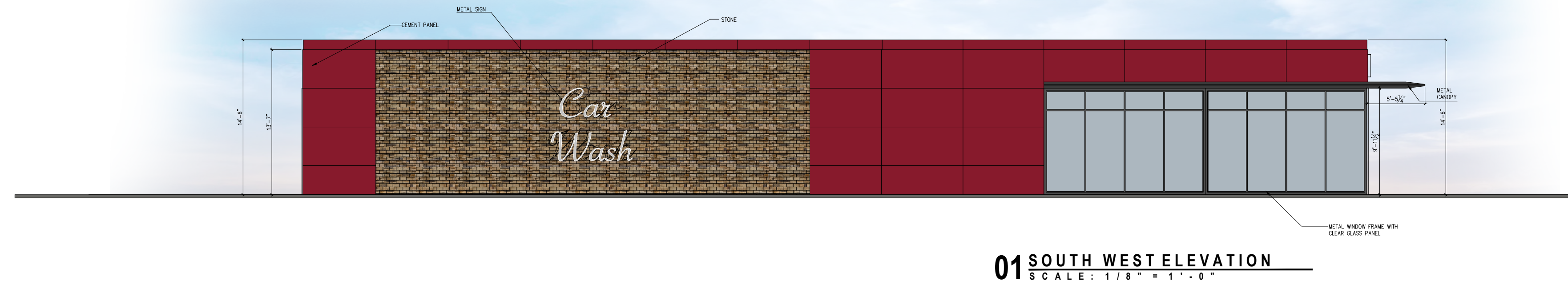
ENGINEER:
 CUMULUS DESIGN, INC.
 FIRM NUMBER: 14810
 2080 NORTH HIGHWAY 360, SUITE 240
 GRAND PRAIRIE, TEXAS 75050
 PH: (214) 235-0367
 CONTACT: PAUL CRAGAN

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 No modification or use of this drawing without the express written authorization of Cumulus Design is prohibited.

!!! CAUTION !!!
UNDERGROUND UTILITIES
 EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
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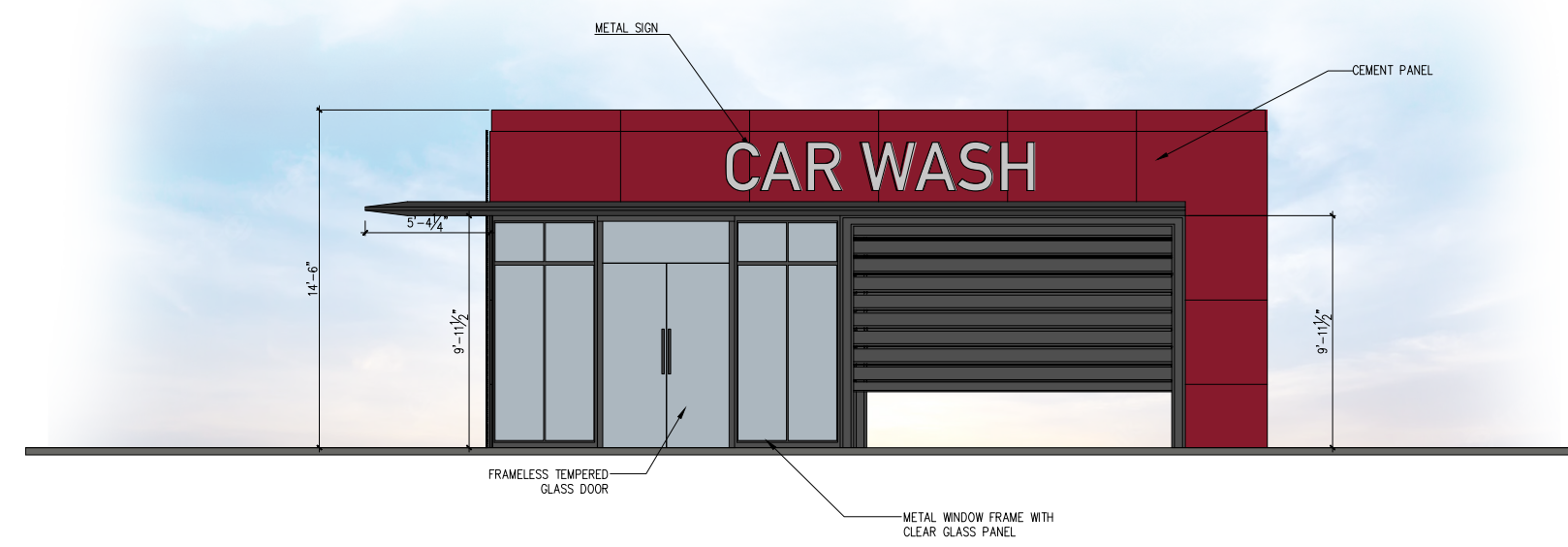
BUILDING A



01 SOUTH WEST ELEVATION
SCALE: 1/8" = 1'-0"



ANTRASITE METAL



02 SOUTH EAST ELEVATION
SCALE: 1/8" = 1'-0"



PAINTED FIBER CEMENT BOARD



03 NORTH WEST ELEVATION
SCALE: 1/8" = 1'-0"

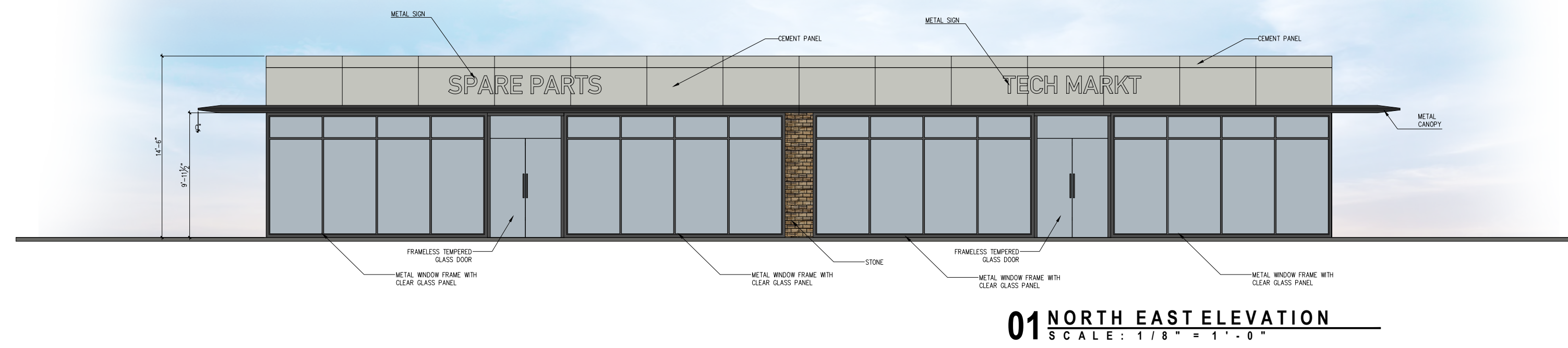


04 NORTH EAST ELEVATION
SCALE: 1/8" = 1'-0"



STONE

BUILDING B



01 NORTH EAST ELEVATION
SCALE: 1/8" = 1'-0"



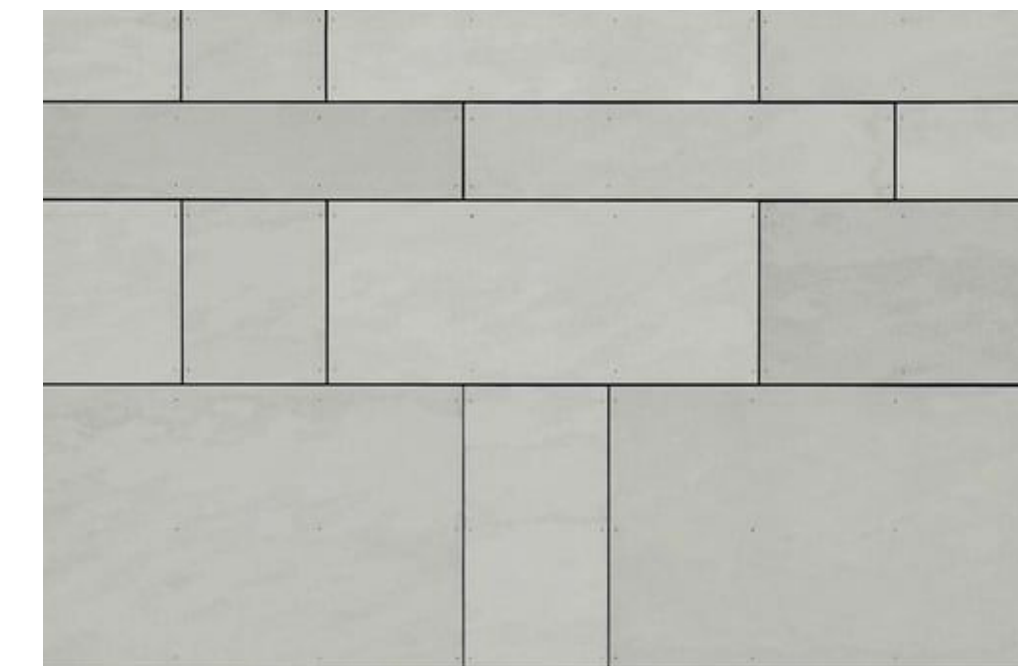
ANTRASITE METAL



02 NORTH WEST ELEVATION
SCALE: 1/8" = 1'-0"



03 SOUTH EAST ELEVATION
SCALE: 1/8" = 1'-0"



PAINTED FIBER CEMENT BOARD

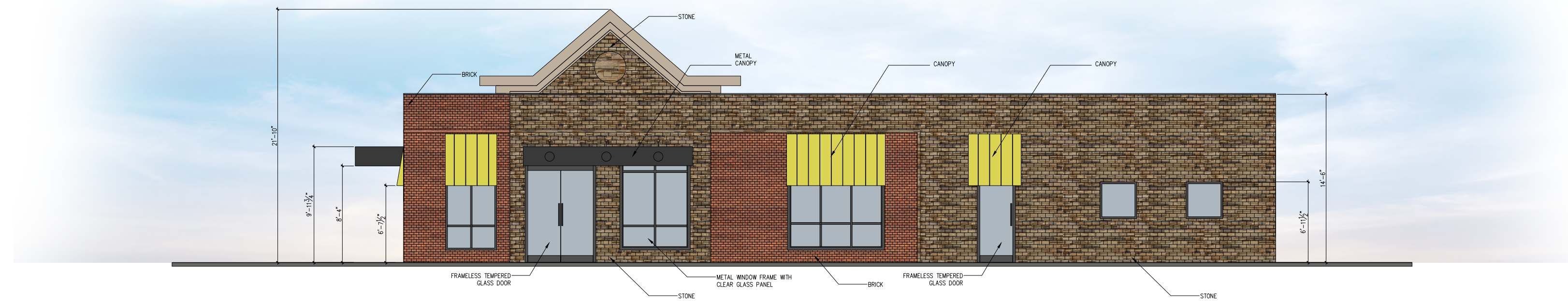


04 SOUTH WEST ELEVATION
SCALE: 1/8" = 1'-0"



STONE

BUILDING C



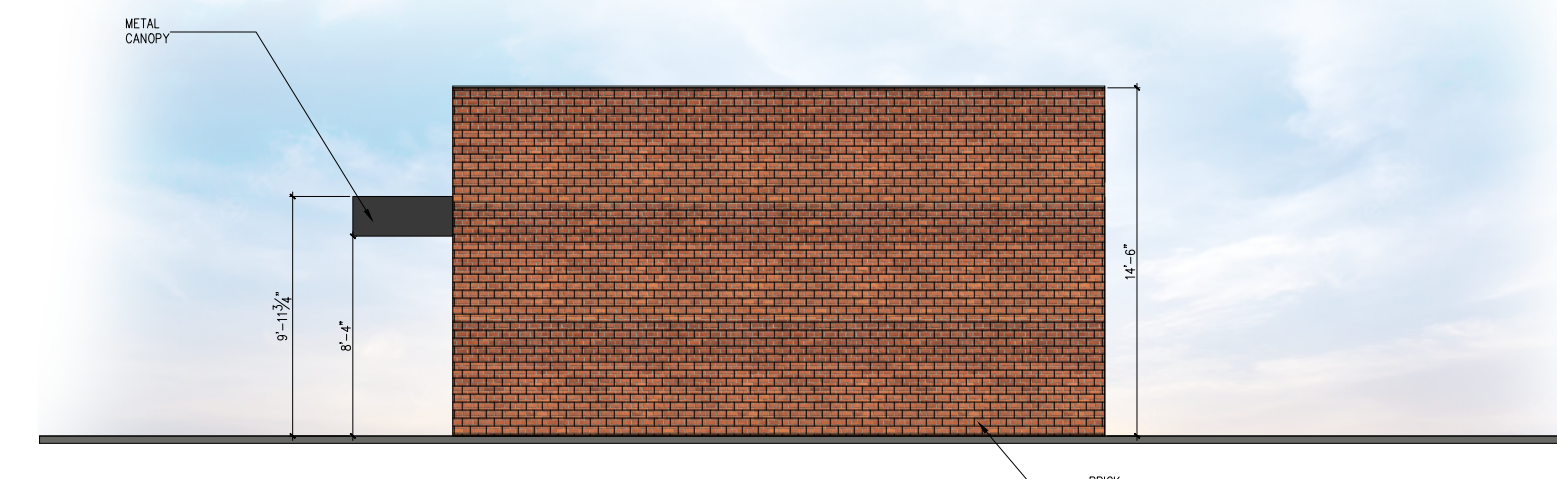
01 SOUTH EAST ELEVATION
SCALE: 1/8" = 1'-0"



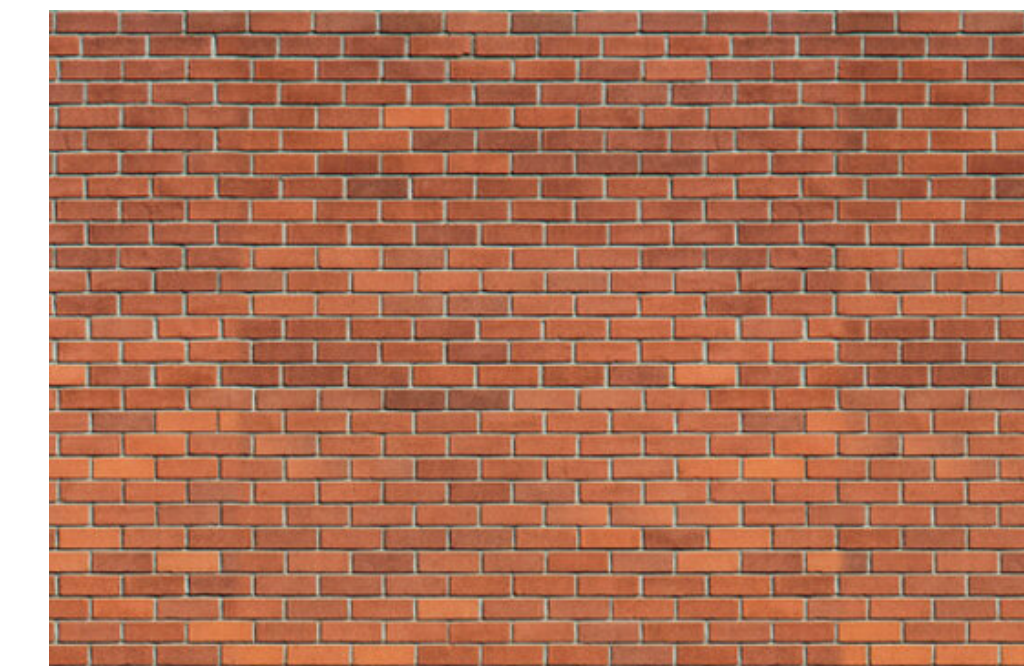
ANTRASITE METAL



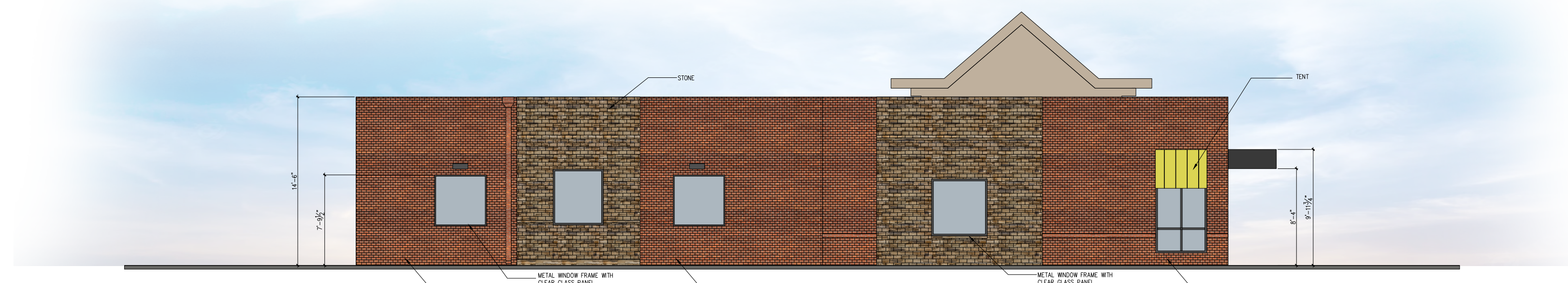
02 SOUTH WEST ELEVATION
SCALE: 1/8" = 1'-0"



03 NORTH EAST ELEVATION
SCALE: 1/8" = 1'-0"



BRICK

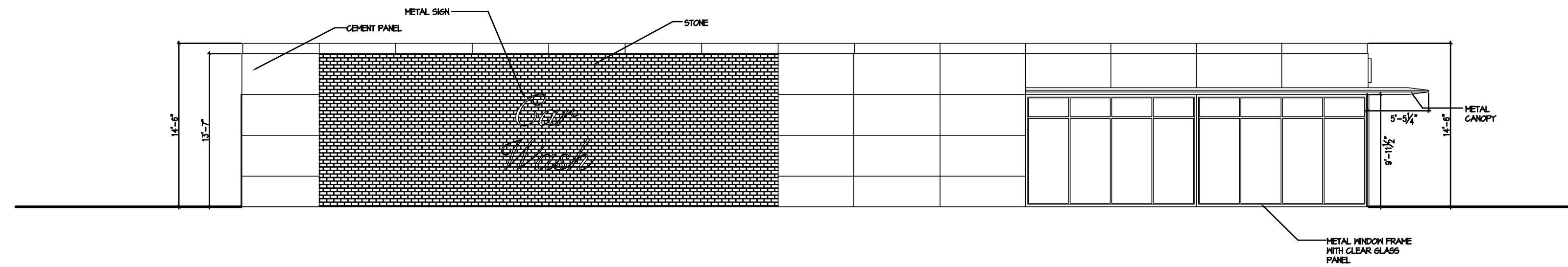


04 SOUTH EAST ELEVATION
SCALE: 1/8" = 1'-0"



STONE

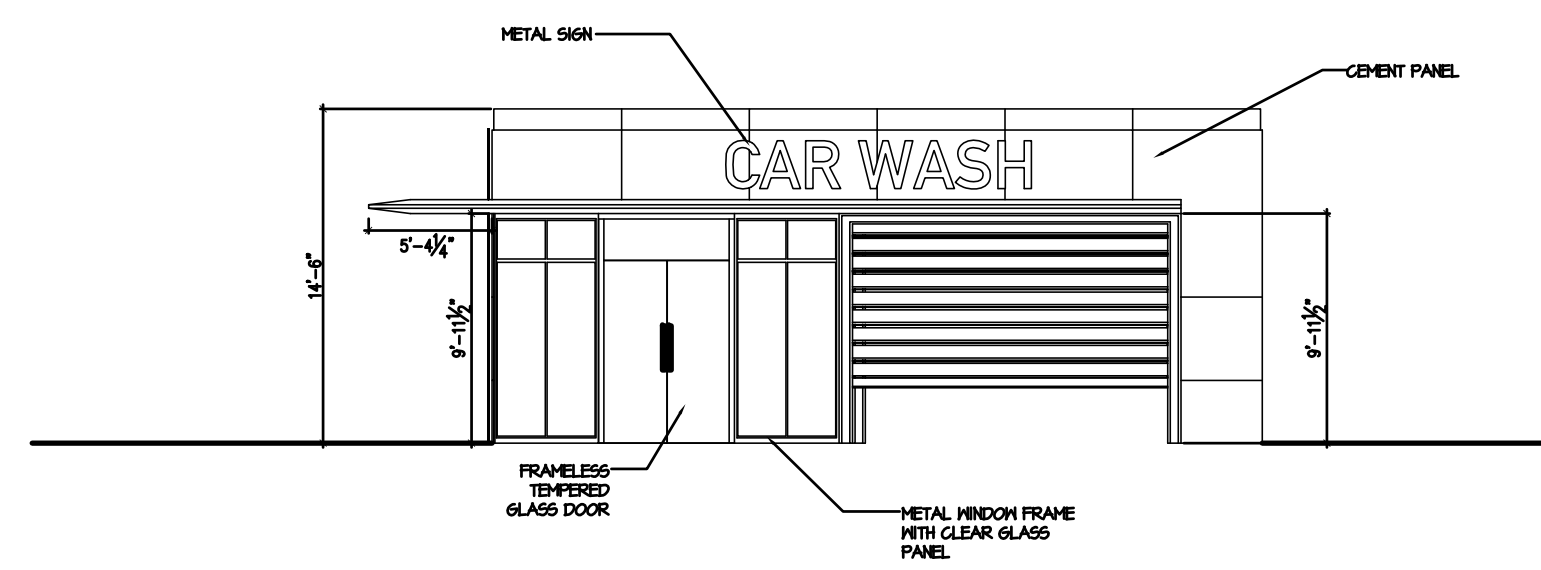
BUILDING A



MATERIAL CALCULATIONS - SOUTH WEST ELEV.

MATERIAL	AREA (S.F.)	PERCENTAGE
CEMENT PANEL	510	36%
STONE	510	36%
TOTAL	1440	100%

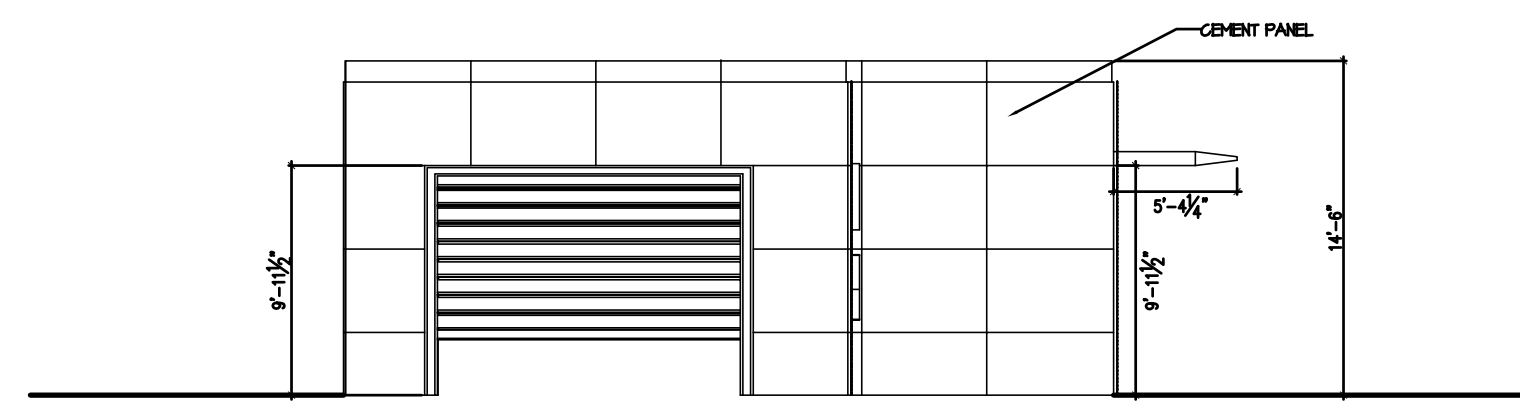
01 SOUTH WEST ELEVATION
SCALE: 1/8" = 1'-0"



02 SOUTH EAST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS - SOUTH EAST ELEV.

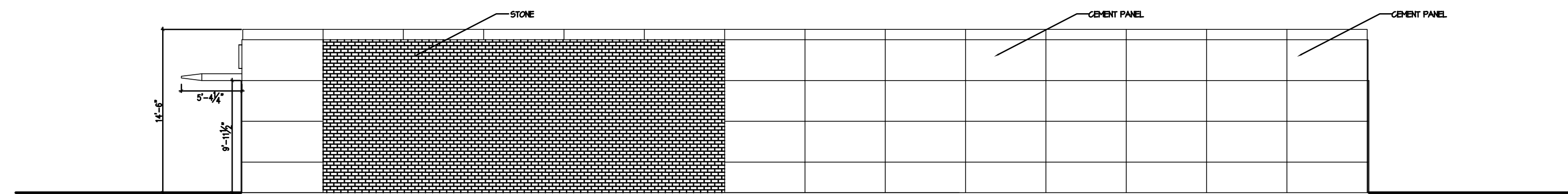
MATERIAL	AREA (S.F.)	PERCENTAGE
CEMENT PANEL	170	35%
TOTAL	480	100%



03 NORTH WEST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS - NORTH WEST ELEV.

MATERIAL	AREA (S.F.)	PERCENTAGE
CEMENT PANEL	340	70%
TOTAL	480	100%



MATERIAL CALCULATIONS - NORTH EAST ELEV.

MATERIAL	AREA (S.F.)	PERCENTAGE
CEMENT PANEL	410	65%
STONE	410	35%
TOTAL	1440	100%

04 NORTH EAST ELEVATION
SCALE: 1/8" = 1'-0"

PLANS PREPARED BY:
ARKITEAM ARCHITECTURE
EMAIL: ENES.CICEKCI@ARKITEAM.COM
CONTACT: ENES CICEKCI

REVISIONS		
REV. NO.	DATE	DESCRIPTION

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____.

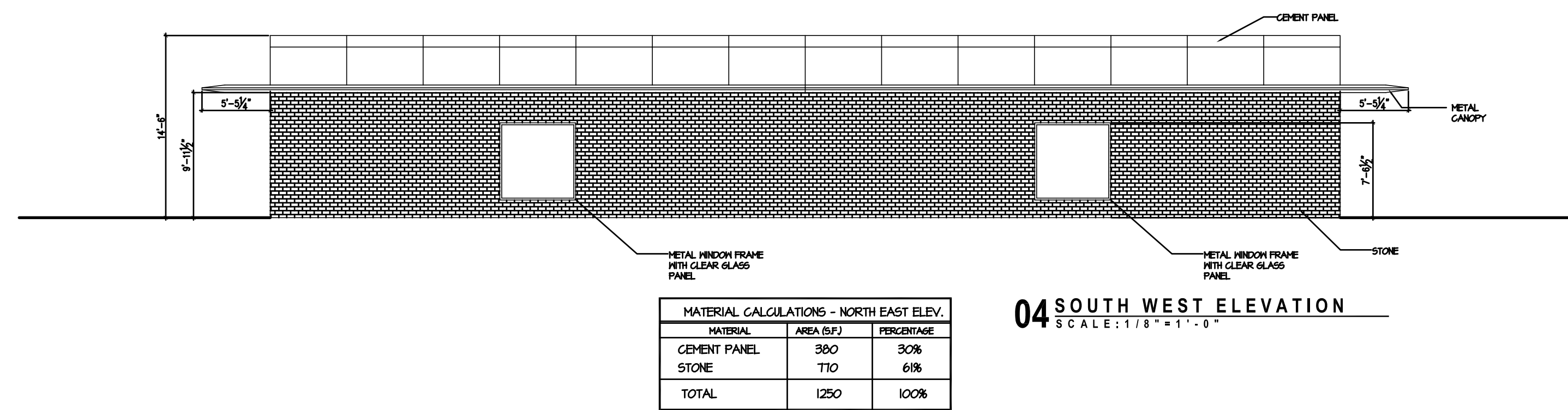
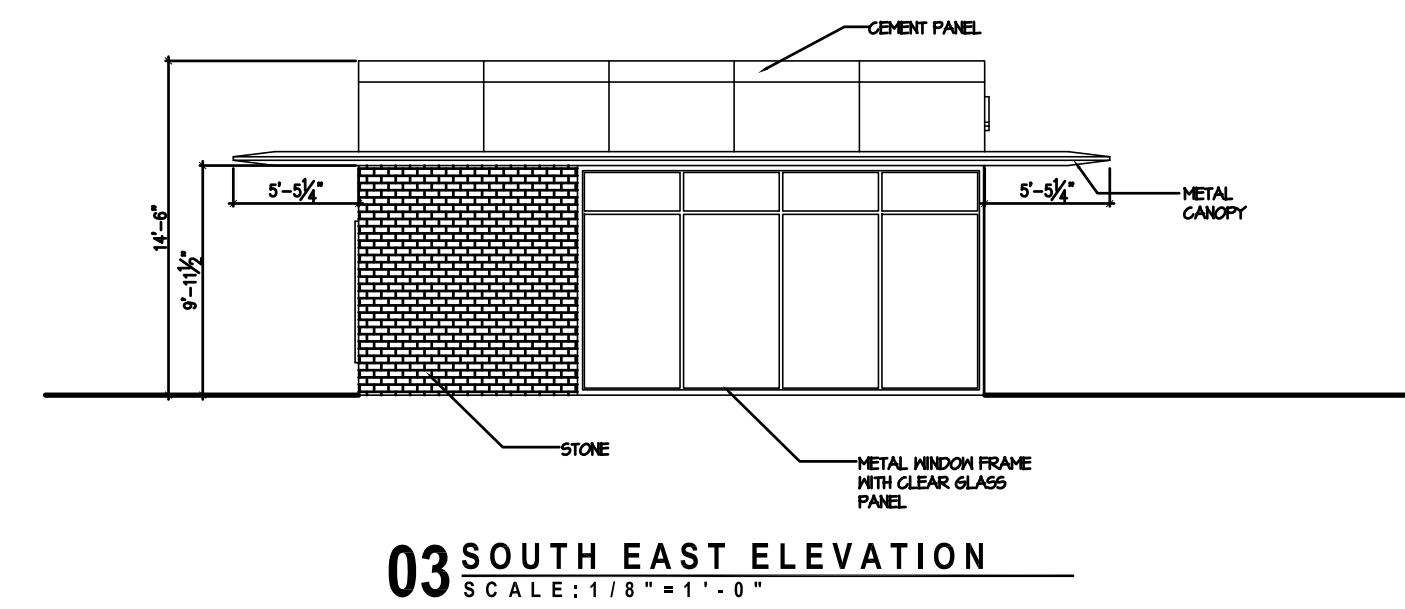
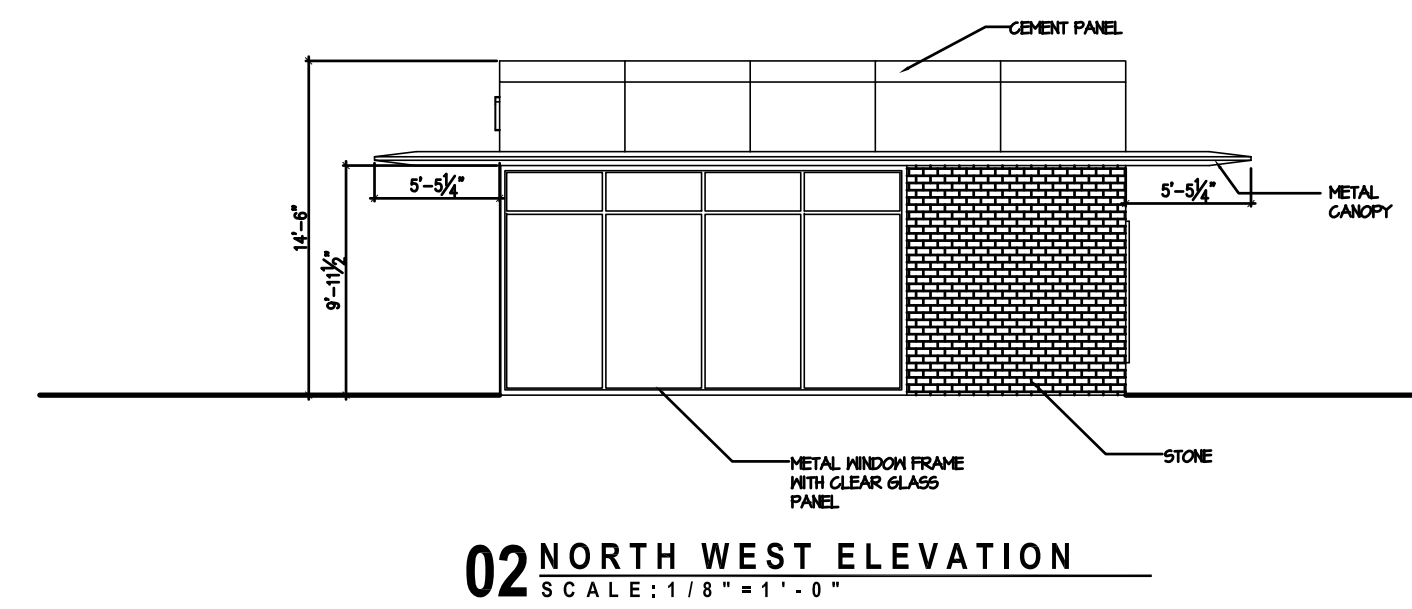
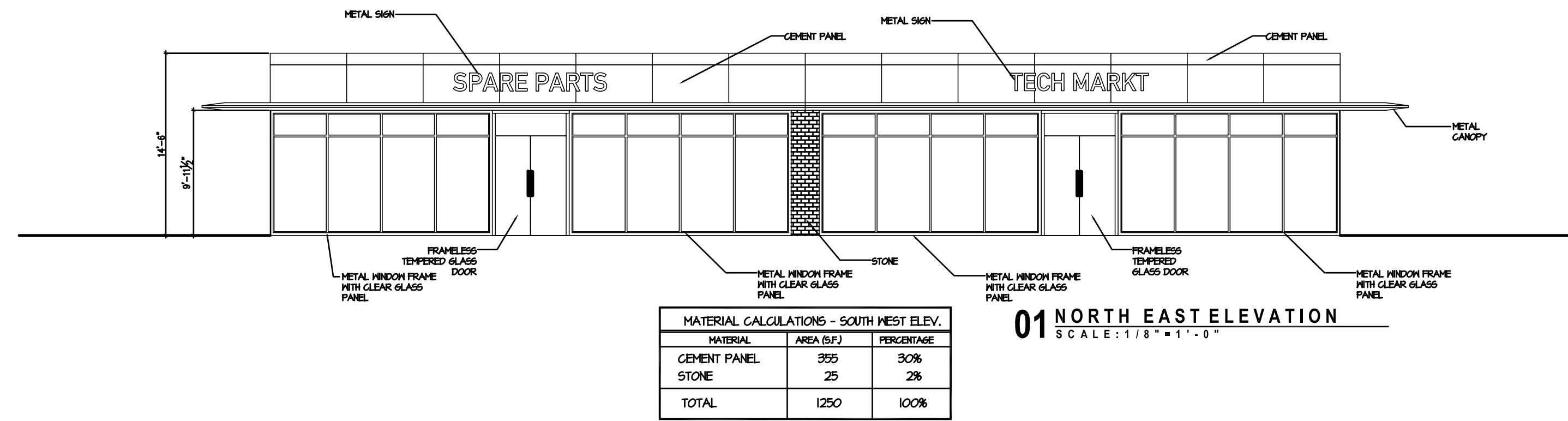
PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

FOR REVIEW, NOT FOR CONSTRUCTION.

BUILDING ELEVATIONS "A"		
ROCKWALL RETAIL		
607 WHITE HILLS DRIVE		
WAL-MART SUPER CENTER ADDITION, BLOCK A, LOT 4		
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS		
CITY CASE NUMBER	DATE	SHEET
	08/16/22	A1.01

BUILDING B



PLANS PREPARED BY:
ARKITEAM ARCHITECTURE
EMAIL: ENES.CICEKCI@ARKITEAM.COM
CONTACT: ENES CICEKCI

REVISIONS		
REV. NO.	DATE	DESCRIPTION

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____.

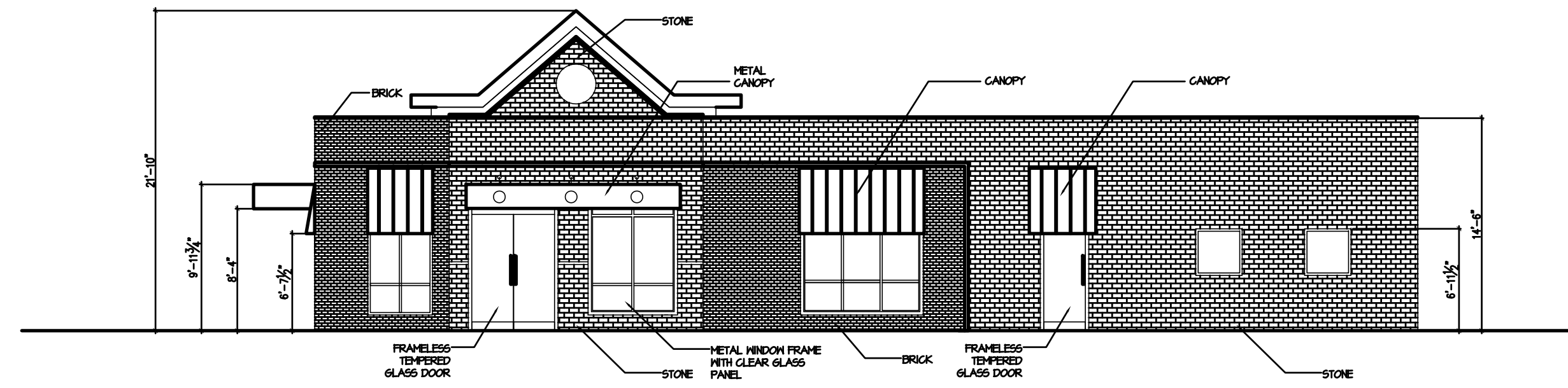
PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

FOR REVIEW, NOT FOR CONSTRUCTION.

BUILDING ELEVATIONS "B"		
ROCKWALL RETAIL		
607 WHITE HILLS DRIVE		
WAL-MART SUPER CENTER ADDITION, BLOCK A, LOT 4		
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS		
CITY CASE NUMBER	DATE	SHEET
	08/16/22	A1.02

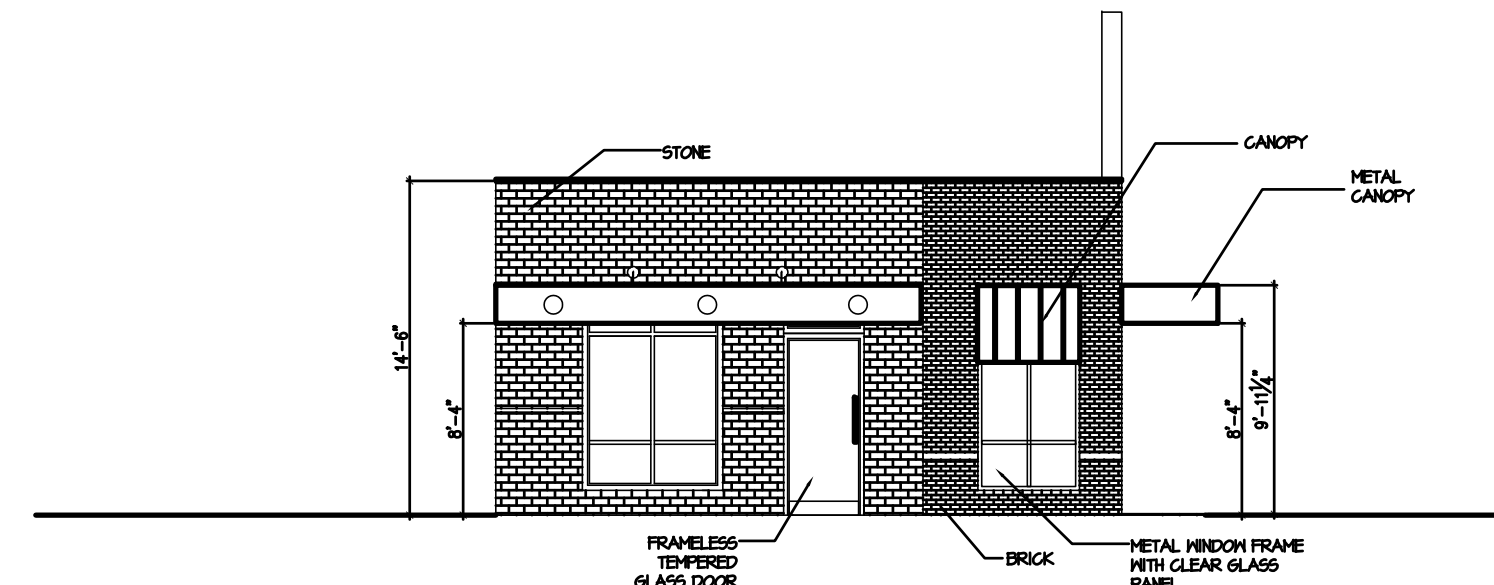
BUILDING C



MATERIAL CALCULATIONS - SOUTH WEST ELEV.

MATERIAL	AREA (S.F.)	PERCENTAGE
BRICK	203	18%
STONE	561	53%
TOTAL	1125	100%

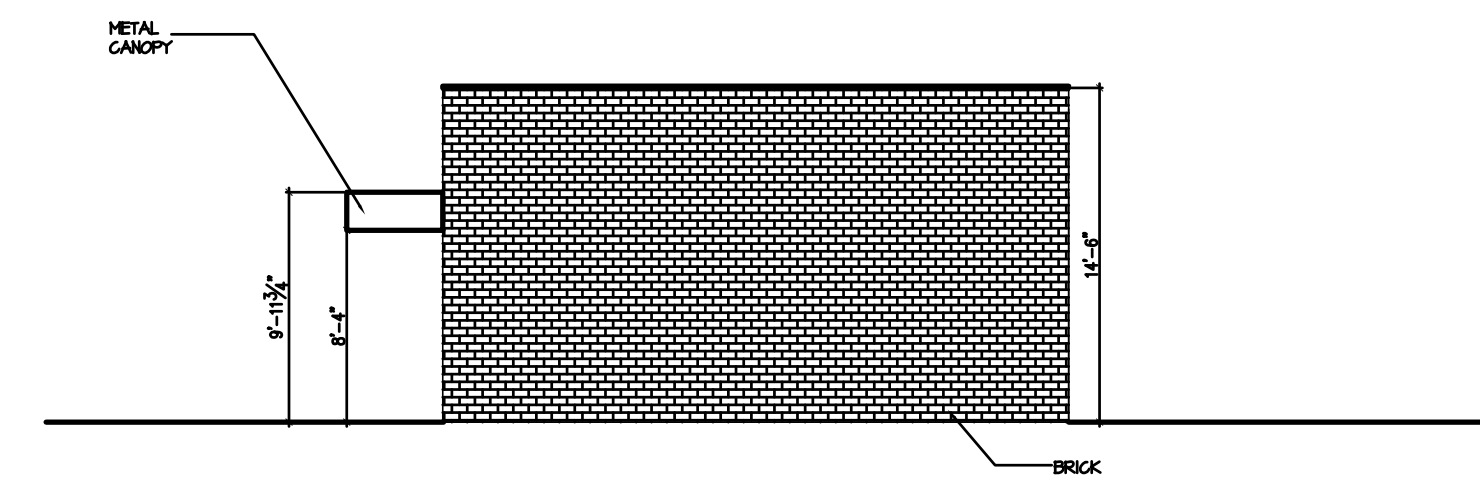
01 SOUTH EAST ELEVATION
SCALE: 1/8" = 1'-0"



02 SOUTH WEST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS - SOUTH WEST ELEV.

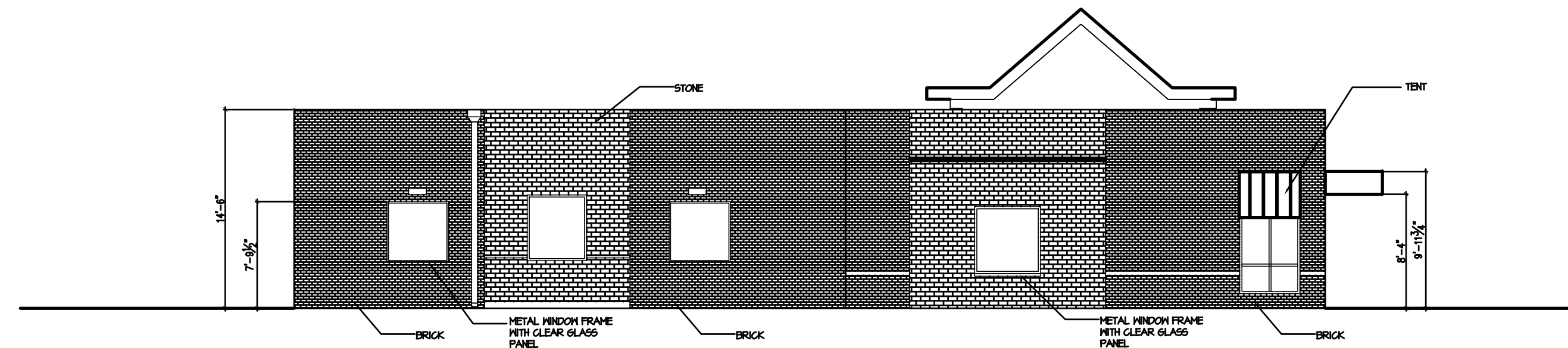
MATERIAL	AREA (S.F.)	PERCENTAGE
BRICK	85	21%
STONE	165	41%
TOTAL	400	100%



03 NORTH EAST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL CALCULATIONS - NORTH WEST ELEV.

MATERIAL	AREA (S.F.)	PERCENTAGE
BRICK	400	100%
TOTAL	400	100%



MATERIAL CALCULATIONS - NORTH EAST ELEV.

MATERIAL	AREA (S.F.)	PERCENTAGE
BRICK	640	60%
STONE	310	28%
TOTAL	1040	100%

04 SOUTH EAST ELEVATION
SCALE: 1/8" = 1'-0"

PLANS PREPARED BY:
ARKITEAM ARCHITECTURE
EMAIL: ENES.CICEKCI@ARKITEAM.COM
CONTACT: ENES CICEKCI

REVISIONS		
REV. NO.	DATE	DESCRIPTION

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

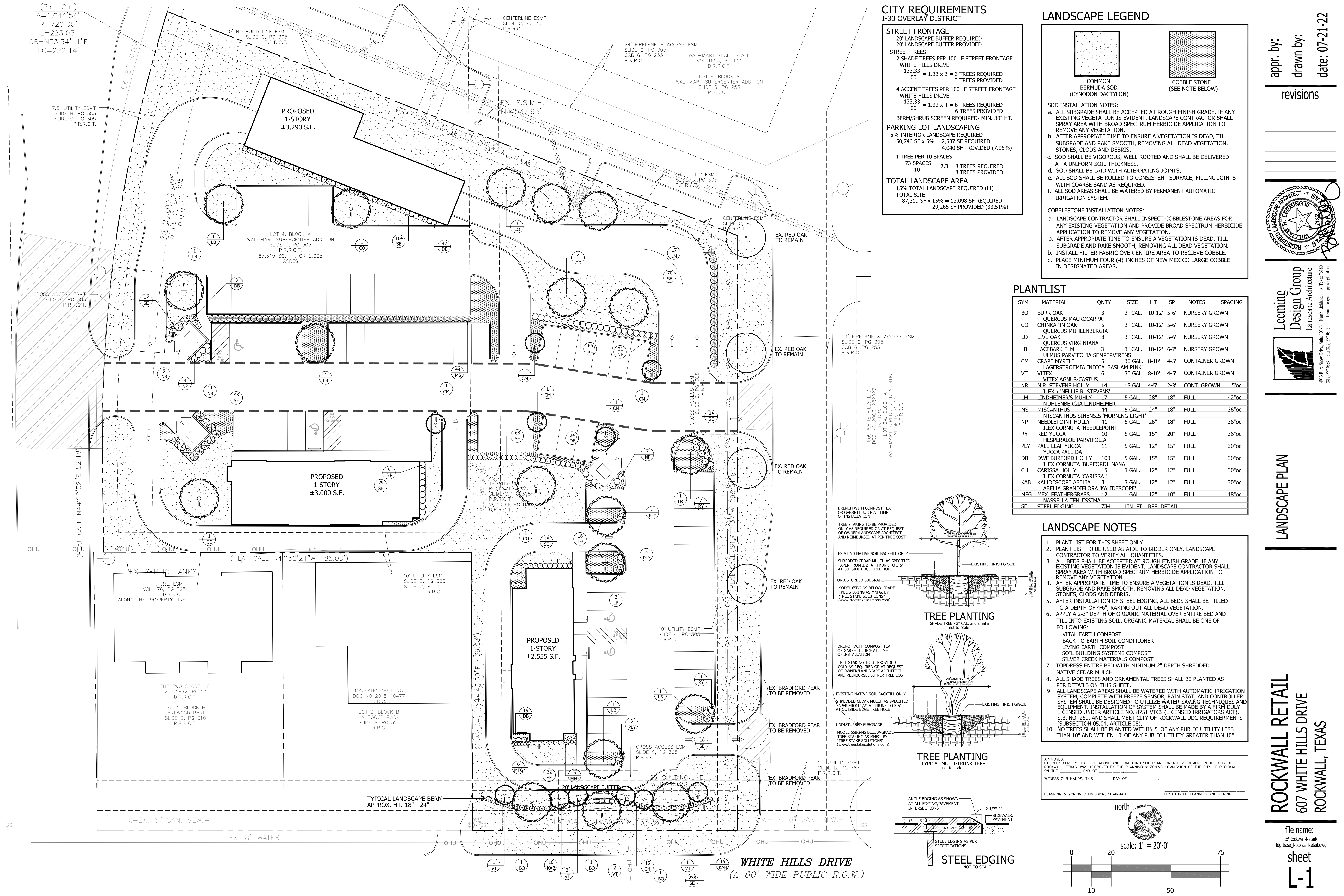
WITNESS OUR HANDS, THIS _____ DAY OF _____.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

FOR REVIEW, NOT FOR CONSTRUCTION.

BUILDING ELEVATIONS "C"		
ROCKWALL RETAIL		
607 WHITE HILLS DRIVE		
WAL-MART SUPER CENTER ADDITION, BLOCK A, LOT 4		
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS		
CITY CASE NUMBER	DATE	SHEET
	08/16/22	A1.03



- ### CITY REQUIREMENTS 1-30 OVERLAY DISTRICT
- STREET FRONTAGE**
 20' LANDSCAPE BUFFER REQUIRED
 20' LANDSCAPE BUFFER PROVIDED
- STREET TREES**
 2 SHADE TREES PER 100 LF STREET FRONTAGE
 WHITE HILLS DRIVE
 $133.33 = 1.33 \times 2 = 3$ TREES REQUIRED
 100 TREES PROVIDED
- 4 ACCENT TREES PER 100 LF STREET FRONTAGE
 WHITE HILLS DRIVE
 $133.33 = 1.33 \times 4 = 6$ TREES REQUIRED
 100 TREES PROVIDED
- BERM/SHRUB SCREEN REQUIRED- MIN. 30" HT.
- PARKING LOT LANDSCAPING**
 5% INTERIOR LANDSCAPE REQUIRED
 50,746 SF x 5% = 2,537 SF REQUIRED
 4,040 SF PROVIDED (7.96%)
- 1 TREE PER 10 SPACES
 $73 \text{ SPACES} = 7.3 = 8$ TREES REQUIRED
 8 TREES PROVIDED
- TOTAL LANDSCAPE AREA**
 15% TOTAL LANDSCAPE REQUIRED (LI)
 TOTAL SITE
 87,319 SF x 15% = 13,098 SF REQUIRED
 29,265 SF PROVIDED (33.51%)

LANDSCAPE LEGEND

COMMON BERMUDA SOD (CYNODON DACTYLON)
 COBBLE STONE (SEE NOTE BELOW)

SOD INSTALLATION NOTES:

- a. ALL SUBGRADE SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
- b. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
- c. SOD SHALL BE VIGOROUS, WELL-ROOTED AND SHALL BE DELIVERED AT A UNIFORM SOIL THICKNESS.
- d. SOD SHALL BE LAID WITH ALTERNATING JOINTS.
- e. ALL SOD SHALL BE ROLLED TO CONSISTENT SURFACE, FILLING JOINTS WITH COARSE SAND AS REQUIRED.
- f. ALL SOD AREAS SHALL BE WATERED BY PERMANENT AUTOMATIC IRRIGATION SYSTEM.

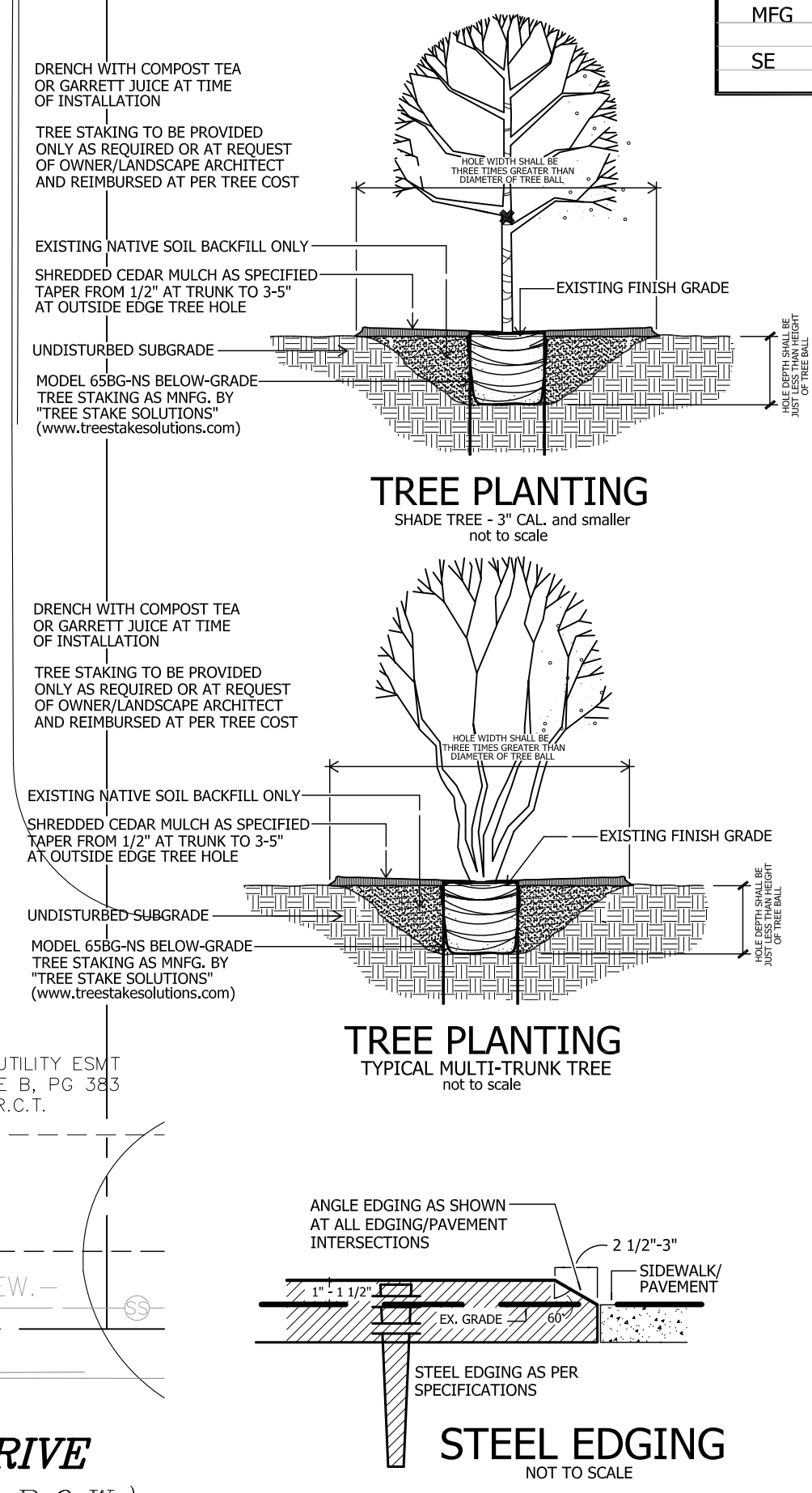
COBBLESTONE INSTALLATION NOTES:

- a. LANDSCAPE CONTRACTOR SHALL INSPECT COBBLESTONE AREAS FOR ANY EXISTING VEGETATION AND PROVIDE BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
- b. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
- c. PLACE MINIMUM FOUR (4) INCHES OF NEW MEXICO LARGE COBBLE IN DESIGNATED AREAS.

PLANTLIST

SYM	MATERIAL	QNTY	SIZE	HT	SP	NOTES	SPACING
BO	BURR OAK QUERCUS MACROCARPA	3	3" CAL.	10-12'	5-6'	NURSERY GROWN	
CO	CHINKAPIN OAK QUERCUS MUhlenBERGIA	5	3" CAL.	10-12'	5-6'	NURSERY GROWN	
LO	LIVE OAK QUERCUS VIRGINIANA	8	3" CAL.	10-12'	5-6'	NURSERY GROWN	
LB	LACEBARK ELM ULMUS PARVIFOLIA SEMPERVIRENS	3	3" CAL.	10-12'	6-7'	NURSERY GROWN	
CM	CRAPE MYRTLE LAGERSTROEMIA INDICA 'BASHAM PINK'	5	30 GAL.	8-10'	4-5'	CONTAINER GROWN	
VT	VITEX VITEX AGNIUS-CASTUS	6	30 GAL.	8-10'	4-5'	CONTAINER GROWN	
NR	N.R. STEVENS HOLLY ILEX x 'NELLIE R. STEVENS'	14	15 GAL.	4-5'	2-3'	CONT. GROWN	5'oc
LM	LINDHEIMER'S MUHLY MUHLENBERGIA LINDHEIMER	17	5 GAL.	28"	18"	FULL	42"oc
MS	MISCANTHUS MISCANTHUS SINENSIS 'MORNING LIGHT'	44	5 GAL.	24"	18"	FULL	36"oc
NP	NEEDLEPOINT HOLLY ILEX CORNUTA 'NEEDLEPOINT'	41	5 GAL.	26"	18"	FULL	36"oc
RY	RED YUCCA HESPERALOE PARVIFOLIA	10	5 GAL.	15"	20"	FULL	36"oc
PLY	PALE LEAF YUCCA YUCCA PALLIDA	11	5 GAL.	12"	15"	FULL	30"oc
DB	DWF BURFORD HOLLY ILEX CORNUTA 'BURFORDI' NANA	100	5 GAL.	15"	15"	FULL	30"oc
CH	CARISSA HOLLY ILEX CORNUTA 'CARISSA'	15	3 GAL.	12"	12"	FULL	30"oc
KAB	KALIDESCOPE ABELIA ABELIA GRANDIFLORA 'KALIDESCOPE'	31	3 GAL.	12"	12"	FULL	30"oc
MFG	MEX. FEATHERGRASS NASSELLA TENUISSIMA	12	1 GAL.	12"	10"	FULL	18"oc
SE	STEEL EDGING	734	LIN. FT.			REF. DETAIL	

- ### LANDSCAPE NOTES
1. PLANT LIST FOR THIS SHEET ONLY.
 2. PLANT LIST TO BE USED AS AIDE TO BIDDER ONLY. LANDSCAPE CONTRACTOR TO VERIFY ALL QUANTITIES.
 3. ALL BEDS SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
 4. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
 5. AFTER INSTALLATION OF STEEL EDGING, ALL BEDS SHALL BE TILLED TO A DEPTH OF 4-6", RAKING OUT ALL DEAD VEGETATION.
 6. APPLY A 2-3" DEPTH OF ORGANIC MATERIAL OVER ENTIRE BED AND TILL INTO EXISTING SOIL. ORGANIC MATERIAL SHALL BE ONE OF FOLLOWING:
 VITAL EARTH COMPOST
 BACK-TO-EARTH SOIL CONDITIONER
 LIVING EARTH COMPOST
 SOIL BUILDING SYSTEMS COMPOST
 SILVER CREEK MATERIALS COMPOST
 7. TOPDRESS ENTIRE BED WITH MINIMUM 2" DEPTH SHREDDED NATIVE CEDAR MULCH.
 8. ALL SHADE TREES AND ORNAMENTAL TREES SHALL BE PLANTED AS PER DETAILS ON THIS SHEET.
 9. ALL LANDSCAPE AREAS SHALL BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM, COMPLETE WITH FREEZE SENSOR, RAIN STAT, AND CONTROLLER. SYSTEM SHALL BE DESIGNED TO UTILIZE WATER-SAVING TECHNIQUES AND EQUIPMENT. INSTALLATION OF SYSTEM SHALL BE MADE BY A FIRM DULY LICENSED UNDER ARTICLE NO. 8751 VTC'S (LICENSED IRRIGATORS ACT), S.B. NO. 259, AND SHALL MEET CITY OF ROCKWALL UDC REQUIREMENTS (SUBSECTION 05.04, ARTICLE 08).
 10. NO TREES SHALL BE PLANTED WITHIN 5' OF ANY PUBLIC UTILITY LESS THAN 10" AND WITHIN 10' OF ANY PUBLIC UTILITY GREATER THAN 10".



appr. by: _____
 drawn by: _____
 date: 07-21-22

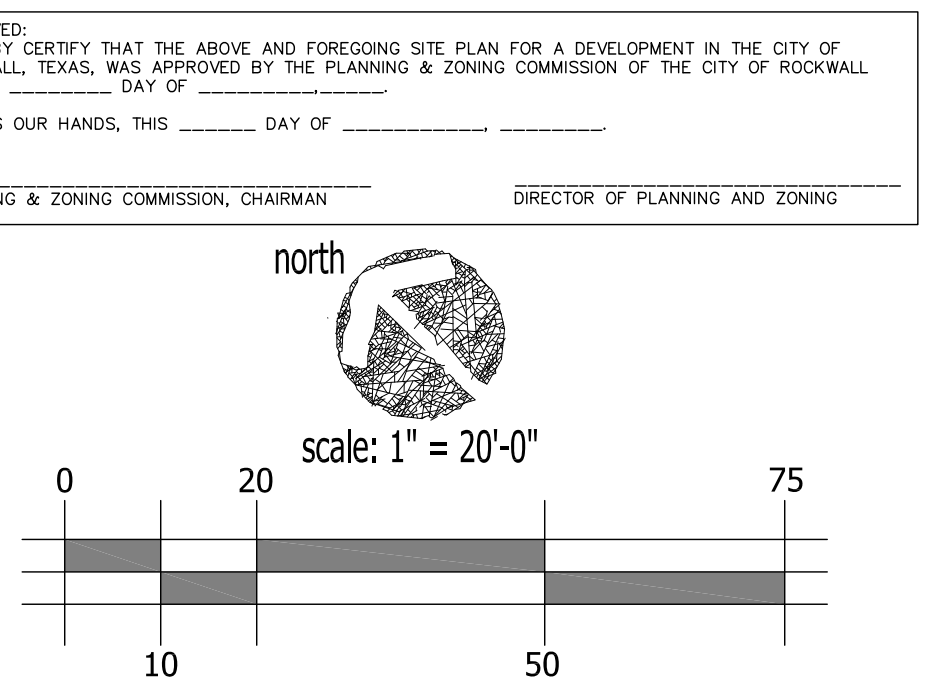
revisions

Leeming Design Group Landscape Architecture
 4013 Rutledge Drive, Suite 101-B North Richland Hills, Texas 76180
 (817) 577-6889 Fax: (817) 577-6896 leemingdesigngroup@gmail.com

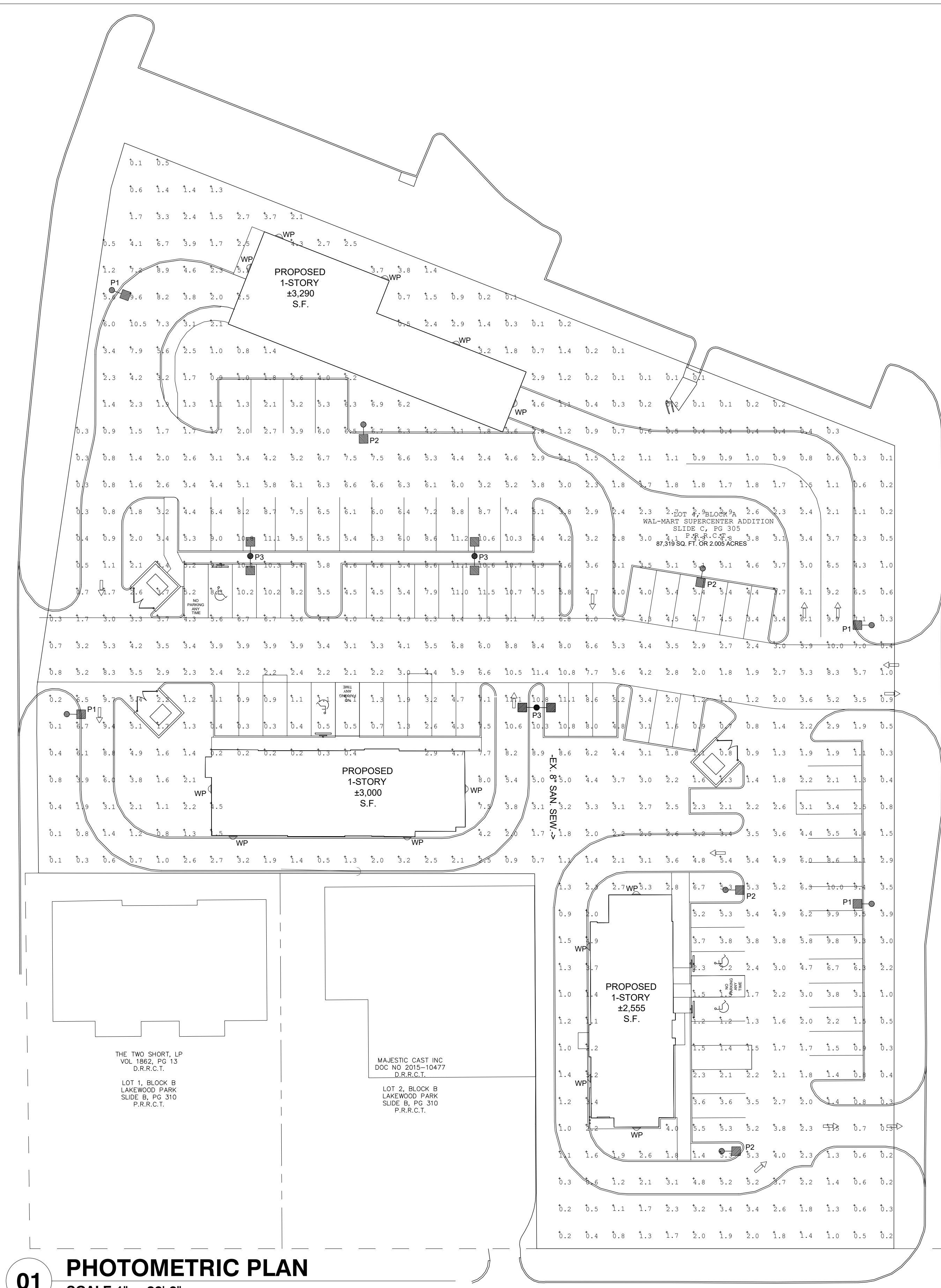
LANDSCAPE PLAN
 ROCKWALL RETAIL
 607 WHITE HILLS DRIVE
 ROCKWALL, TEXAS

APPROVED: _____
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____
 WITNESS OUR HANDS, THIS _____ DAY OF _____
 PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____

file name:
 c:\Rockwall-Retail
 ldy-base_RockwallRetail.dwg
 sheet
 L-1



SUNCREST DRIVE
(A VARIABLE WIDTH PUBLIC R.O.W.)



01 PHOTOMETRIC PLAN
SCALE 1" = 20'-0"

!!! CAUTION !!!
UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE. CALL: TEXAS ONE CALL @ 811 AT LEAST 72 HRS PRIOR TO CONSTRUCTION.

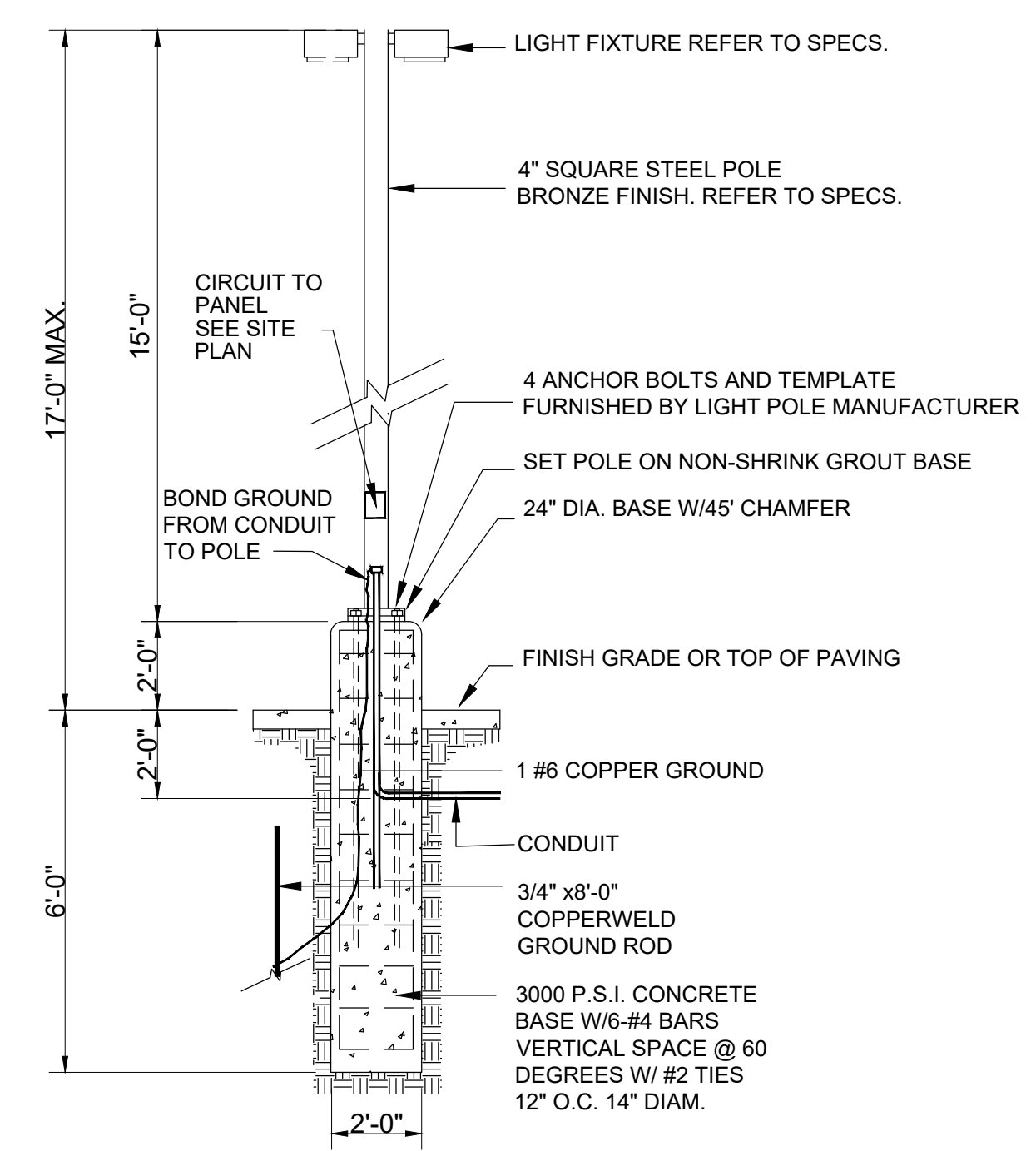
WHITE HILLS DRIVE
(A 60' WIDE PUBLIC R.O.W.)

REVISIONS		
REV. NO.	DATE	DESCRIPTION

- ELECTRICAL SITE NOTES**
- COORDINATE WITH SIGN CONTRACTOR ALL ILLUMINATED SIGNS IN ACCORDANCE TO CITY OF ROCKWALL, TEXAS SIGN REGULATIONS.
 - EXTERIOR LIGHTING SHALL BE INSTALLED PER CITY OF ROCKWALL ELECTRICAL CODE IN CONJUNCTION WITH THE 2020 NEC.
 - FLOOD LIGHT SHALL BE AIMED TO PROVIDE CONSISTENT ILLUMINATION FOR BUILDING SIGNAGE.
 - ALL EXTERIOR SIGNAGE SHALL BE AS DIRECTED BY OWNER AND IN COMPLIANCE WITH ADA GUIDELINES AND LOCAL CODES. CONTRACTOR TO PROVIDE ELECTRICAL CONDUIT AND POWER. SIGNAGE IS O.F.O.I.
 - ALL CONDUIT FOR ELECTRICAL SERVICE SHALL BE INSTALLED PER UTILITY STANDARDS AND SHALL HAVE MINIMUM 42" COVER. CONTRACTOR SHALL BE RESPONSIBLE FOR FILING WITH UTILITY AND INSTALLING PER UTILITY INSTRUCTIONS.
 - CONTRACTOR SHALL INSTALL ALL TELEPHONE CONDUIT PER TELEPHONE COMPANY STANDARDS. CONTACT PHONE COMPANY BEFORE ANY WORK BEGINS AND COORDINATE WITH PHONE COMPANY.
 - ALL UTILITIES, INCLUDING ELECTRICAL DISTRIBUTION AND COMMUNICATION SHALL BE INSTALLED BELOW GRADE AS REQUIRED.
 - AREA PARKING LIGHTS SHALL BE CONTROLLED BY A PHOTOCELL AND TIME CLOCK CONTROL MOUNT OUTDOOR PHOTOCELL HORIZONTALLY ON ROOF OR EQUAL, FACING NORTHERN SKY. HOODED PORTION ON TOP, POINTED AWAY FROM ANY NIGHTTIME LIGHT SOURCES. TIME SWITCH SHALL BE CAPABLE OF RETAINING PROGRAMMING AND THE TIME SETTING DURING LOSS OF POWER FOR A PERIOD OF AT LEAST 10 HOURS. ALL EXTERIOR LIGHTS SHALL BE LISTED DARK SKY COMPLIANT.

Luminaire Schedule Symbol	Qty	Label	Description	Lum. Lumens	Lum. Watts	[MANUFAC]
●	4	P1	DSX1 LED P6 50K BLC MVOLT	15804	163	Lithonia Lighting
●	4	P2	DSX1 LED P6 50K TSM MVOLT	20012	163	Lithonia Lighting
●	3	P3	DSX1 LED P6 50K TSM MVOLT	20012	163	Lithonia Lighting
☺	13	WP	WSQ LED 1 10A700_50K SR2 MVOLT	2159	24	Lithonia Lighting

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
FREE GRID	Illuminance	Fc	3.45	11.5	0.1	34.50	115.00



02 TYPICAL SITE LIGHT POLE
SCALE: NONE

CONSULTANT:
WAHEED CONSULTING
MECHANICAL-ELECTRICAL-PLUMBING SYSTEM DESIGN
Registration No. F-6336
TEL: (817) 793 2010, FAX: (972) 442 4063
420 PARKSIDE ST. MURPHY, TX, 75094
E-mail: mwaheedconsulting@gmail.com

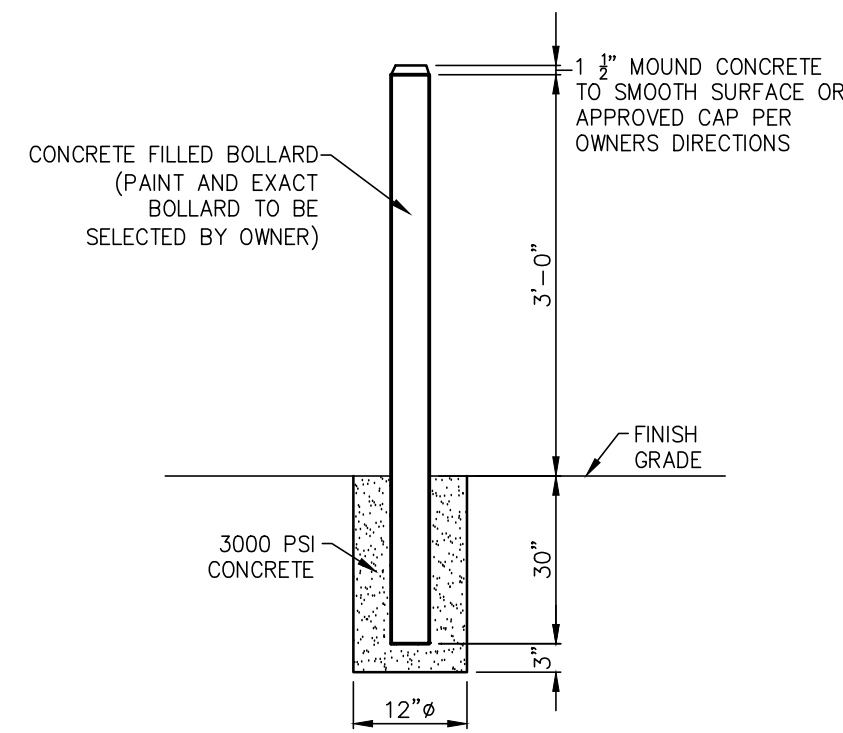
PHOTOMETRIC PLAN		
ROCKWALL RETAIL		
607 WHITE HILLS DRIVE		
WAL-MART SUPER CENTER ADDITION, BLOCK A, LOT 4		
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS		
CITY CASE NUMBER	DATE	SHEET
	08/03/2022	ESP

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____

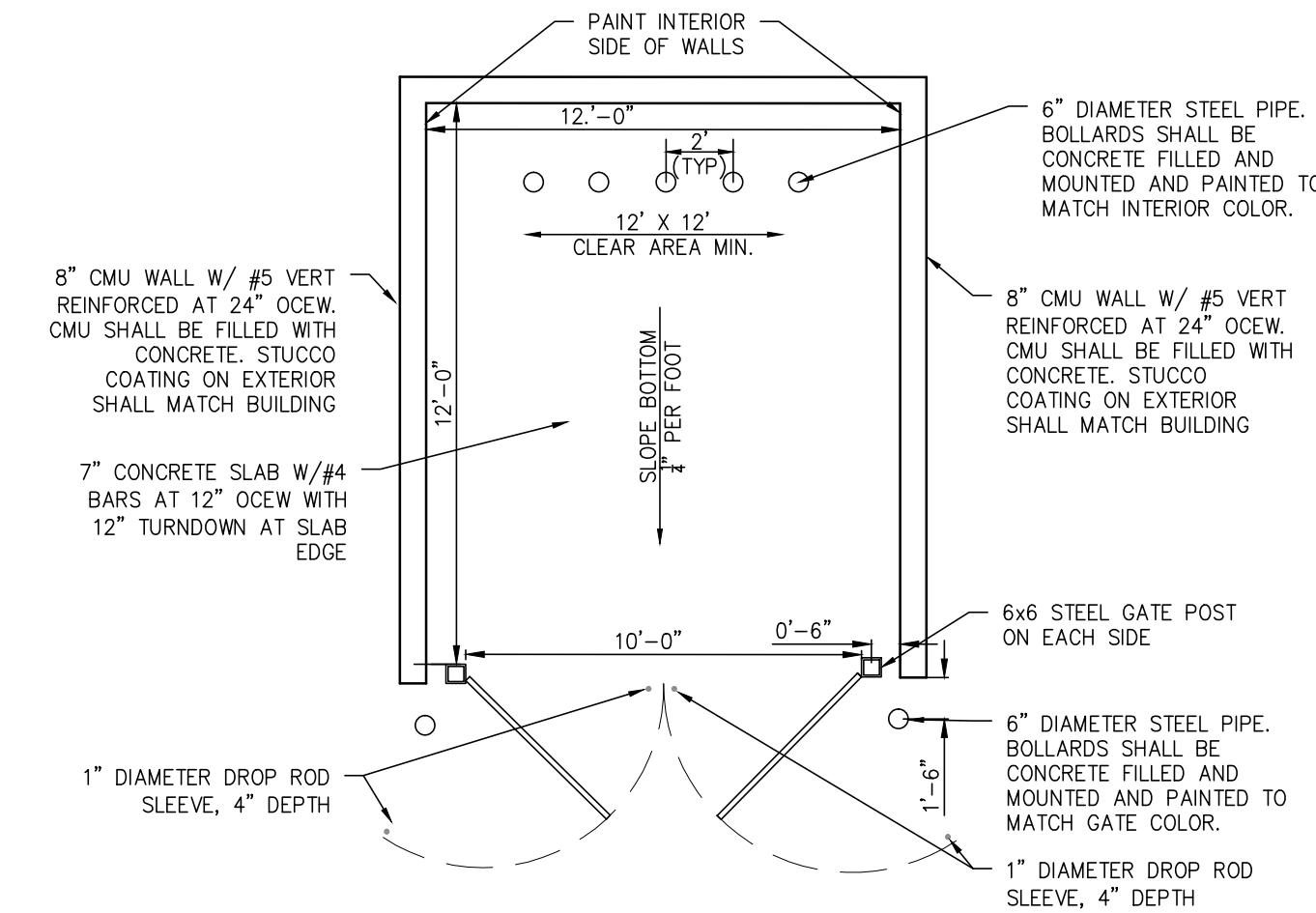
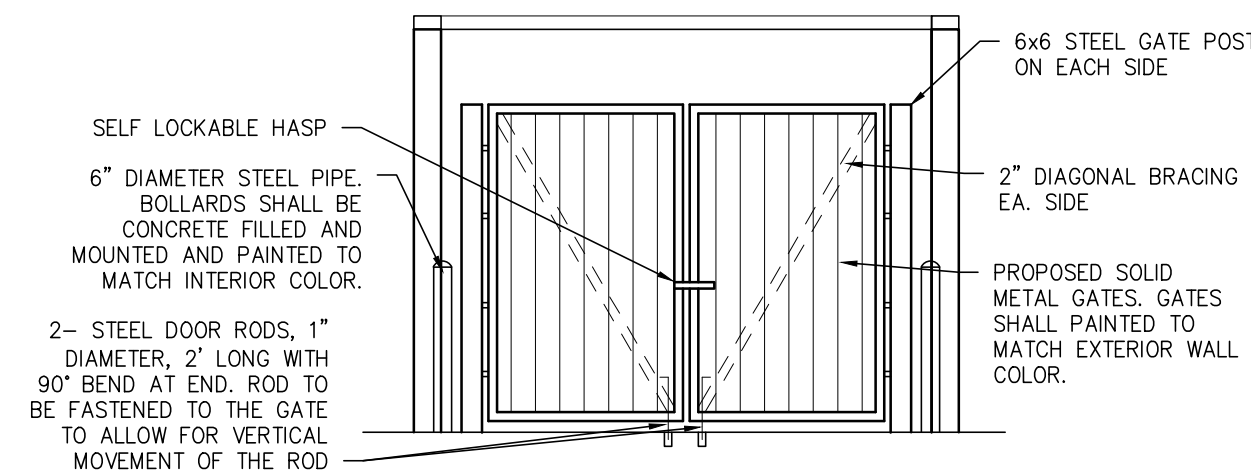
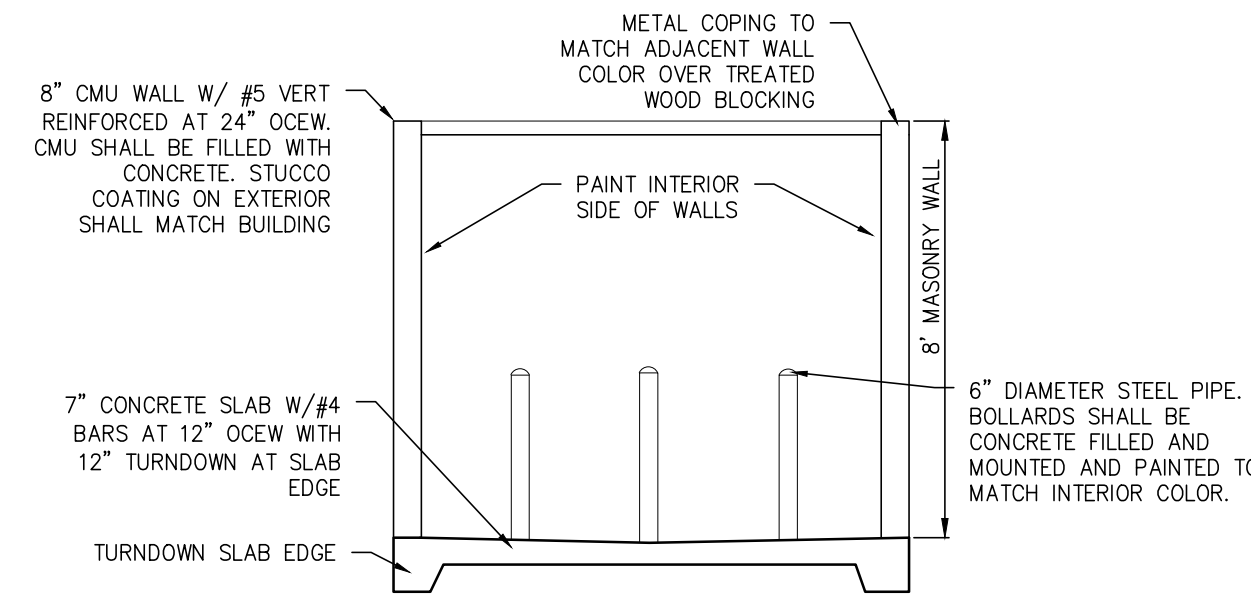
WITNESS OUR HANDS, THIS _____ DAY OF _____

PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____

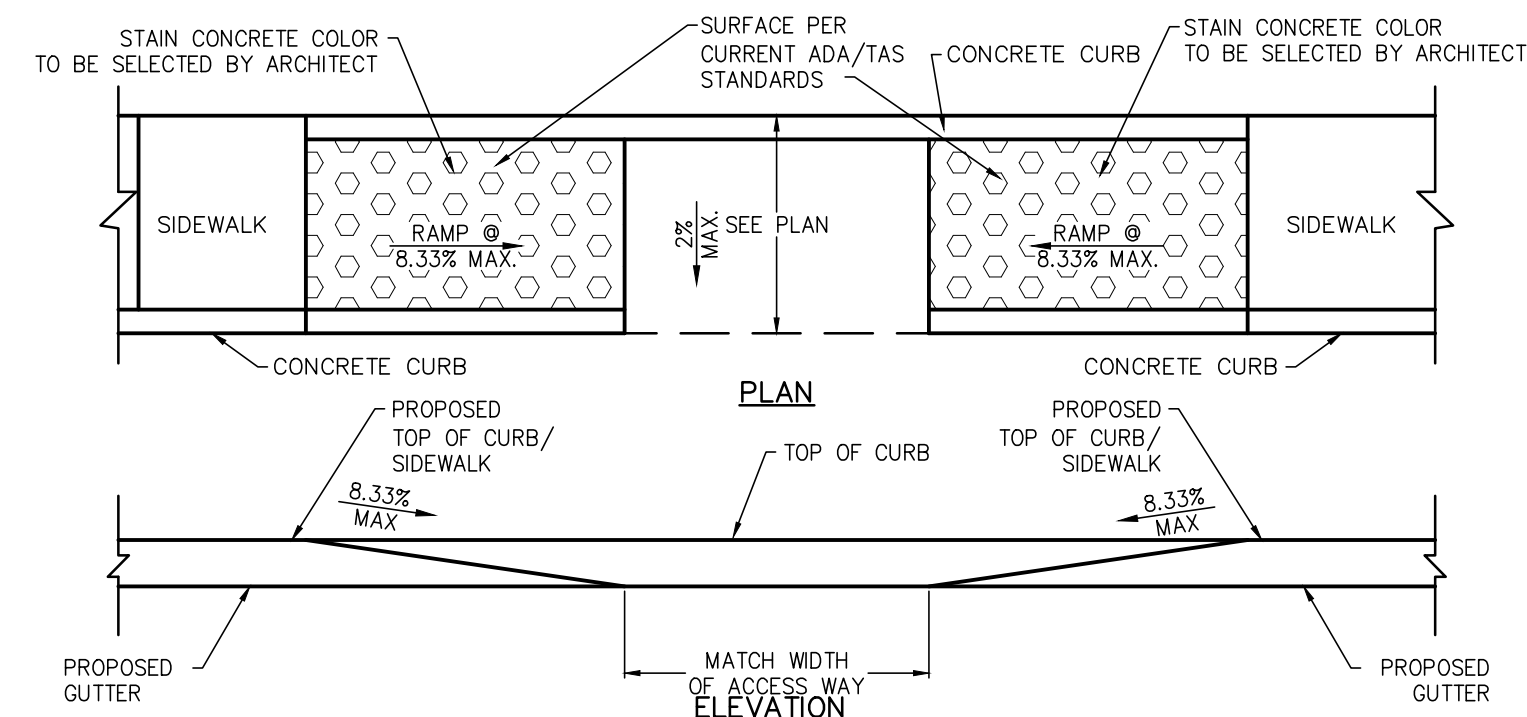
FOR REVIEW, NOT FOR CONSTRUCTION.



BOLLARD DETAIL
N.T.S.



DUMPSTER DETAILS



**BARRIER FREE RAMP
ALONG HANDICAP PARKING**
N.T.S.

- NOTES:**
- ON SITE BARRIER FREE RAMPS TO BE COLORED TO CONTRAST WITH THE ADJACENT SIDEWALKS. COLOR TO BE CHOSEN BY ARCHITECT/OWNER.
 - ON SITE BFR'S TO HAVE A SURFACE THAT COMPLIES WITH CURRENT ADA/TAS STANDARDS.
 - CROSS SLOPES ON ALL BARRIER FREE RAMPS SHALL NOT EXCEED 2.0%.
 - GROOVES ON RAMP SHALL BE HAND TOOLED, NOT SAWCUT.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____.

PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____

**!!! CAUTION !!!
UNDERGROUND UTILITIES**

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
CALL: TEXAS ONE CALL @ 811 AT LEAST 72 HRS PRIOR TO CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

REVISIONS		
REV. NO.	DATE	DESCRIPTION

SITE PLAN DETAILS		
ROCKWALL RETAIL		
607 WHITE HILLS DRIVE		
WAL-MART SUPER CENTER ADDITION, BLOCK A, LOT 4		
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS		
CITY CASE NUMBER	DATE	SHEET
	08/03/22	DTL

FOR REVIEW, NOT FOR CONSTRUCTION.

AMENDMENT TO DECLARATION OF EASEMENTS AND RESTRICTIONS

STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESETS
COUNTY OF ROCKWALL §

THIS AMENDMENT TO DECLARATION OF EASEMENTS AND RESTRICTIONS (this "**Amendment**") is executed to be effective as of May **13**, 2021, by **WAL-MART REAL ESTATE BUSINESS TRUST ("Wal-Mart")**, **CAMPFIRE SHOPS, LLC**, a Texas limited liability company ("**CSL**"), **JLIU ASSET MANAGEMENT LTD.**, a Texas limited partnership ("**JAM**"), **609 WHITE HILLS LTD.**, a Texas limited partnership ("**609**") and **SAYED PROPERTY MANAGEMENT, LLC**, a Texas limited liability company ("**SPM**") and, together with **CSL, JAM, and 609**, collectively, the "**Outlot Owners**").

RECITALS

WHEREAS, Wal-Mart Stores, Inc. executed and caused to be recorded that certain Declaration of Easements and Restrictions dated July 29, 1996, recorded in Volume 1143, Page 236 in the Deed Records of Rockwall County, Texas (the "**Declaration**") pertaining to approximately 34.419 acres of land located in Rockwall, Rockwall County, Texas, as more particularly described in the Declaration (the "**Project**").

WHEREAS, Wal-Mart is the owner of Tract 1, as described in Exhibit A to the Declaration, JAM is the owner of Lot 1, as described in Exhibit B to the Declaration ("**Exhibit B**"), 609 and SPM are the owners of Lot 3, as described in Exhibit B, and CSL is the owner of Lot 4, as described in Exhibit B.

WHEREAS, Wal-Mart and the Outlot Owners collectively own all of the Project and desire to amend certain terms of the Declaration as set forth below.

AGREEMENT:

For good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Wal-Mart and the Outlot Owners agree as follows:

1. **Access Easement 1.** In addition to the easement areas described in Section 1 of the Declaration, the term "Access Area" as used in the Declaration shall also include the property described on **Exhibit A** attached hereto (the "**Additional Access Area**"). Wal-Mart hereby grants to the Outlot Owners, their successors and assigns, and their respective customers, employees, tenants and invitees a perpetual, nonexclusive easement for vehicular (passenger cars and light trucks) ingress and egress over and across the Additional Access Area. Use of the Additional Access Area shall be subject to Section 1 of the Declaration.

2. **Miscellaneous.** All capitalized but undefined terms in this Amendment are defined as in the Declaration. In the event of any conflict between the terms and provisions of this Amendment and the terms and provisions of the Declaration, the terms and provisions of this Amendment shall supersede and control. This Amendment shall be part of the original Declaration.

This Amendment may be executed in any number of counterparts, each of which shall be deemed an original, and all of such counterparts shall constitute one agreement.

Executed to be effective as of the date first above written.

WAL-MART:

WAL-MART REAL ESTATE BUSINESS TRUST

By: 

Name: Nick Goodner

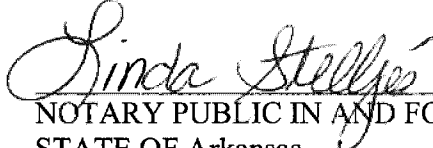
Title: Senior Director II

THE STATE OF Arkansas §

§

COUNTY OF Benton §

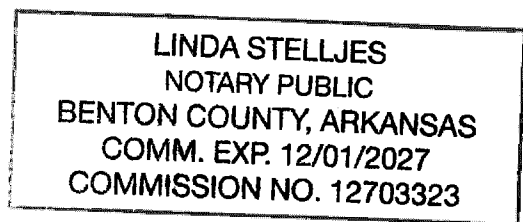
This instrument was acknowledged before me on May 13, 2021, by Nick Goodner, SR. Director II of Wal-Mart Real Estate Business Trust, on behalf of said entity.


NOTARY PUBLIC IN AND FOR THE STATE OF Arkansas

My commission Expires:

12/01/2027

Linda Stelljes
Printed Name of Notary Public



OUTLOT OWNERS:

CAMPFIRE SHOPS, LLC, a Texas limited liability company

By: 
Sammy Jibrin, President

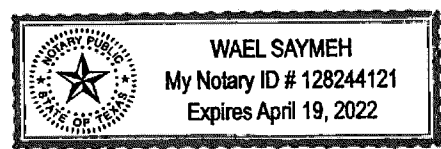
THE STATE OF TEXAS §
 §
COUNTY OF Dallas §

This instrument was acknowledged before me on ~~May~~ ^{June, 17} , 2021, by Sammy Jibrin, President of Campfire Shops, LLC, a Texas limited liability company, on behalf of said limited liability company.


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

My commission Expires:
4-19-2022

Wael Saymeh
Printed Name of Notary Public



**JLIU ASSET MANAGEMENT LTD., a
Texas limited partnership**

By: [Signature]
Name: C Robin Liu
Title: Vice President

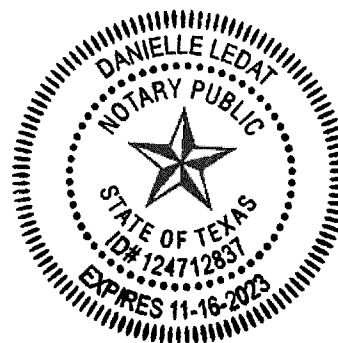
THE STATE OF TEXAS §
 §
COUNTY OF Dallas §

This instrument was acknowledged before me on July 2, 2021, by C Robin Liu,
Liu of JLIU Asset Management Ltd., a Texas limited partnership, on behalf of said
entity.

[Signature]
NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS

My commission Expires:
11-16-2023

DANIELLE LEDAT
Printed Name of Notary Public



609 WHITE HILLS LTD., a Texas limited partnership

By: [Signature]
Name: R.H. RICHMOND, JR
Title: PRESIDENT

REMINGTON PARTNERS, INC
GENERAL PARTNER

THE STATE OF TEXAS §
 §
COUNTY OF Dallas §

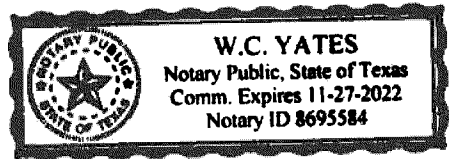
This instrument was acknowledged before me on ^{June} May 17, 2021, by R.H. Richmond Jr of 609 White Hills Ltd., a Texas limited partnership, on behalf of said entity.

[Signature]
NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS

My commission Expires:

11.27.22

W.C. Yates
Printed Name of Notary Public



**SAYED PROPERTY MANAGEMENT, LLC., a
Texas limited liability company**

By: *Sayed Rizvi*
Name: SAYED RIZVI
Title: PRESIDENT

THE STATE OF TEXAS §
 §
COUNTY OF Dallas §

This instrument was acknowledged before me on May 23, 2021, by Sayed Rizvi of Sayed Property Management, LLC, a Texas limited liability company, on behalf of said limited liability company.

Sandra Langham

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS

My commission Expires:
12-17-23

Sandra Langham
Printed Name of Notary Public

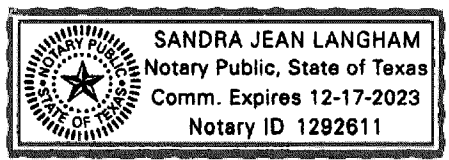
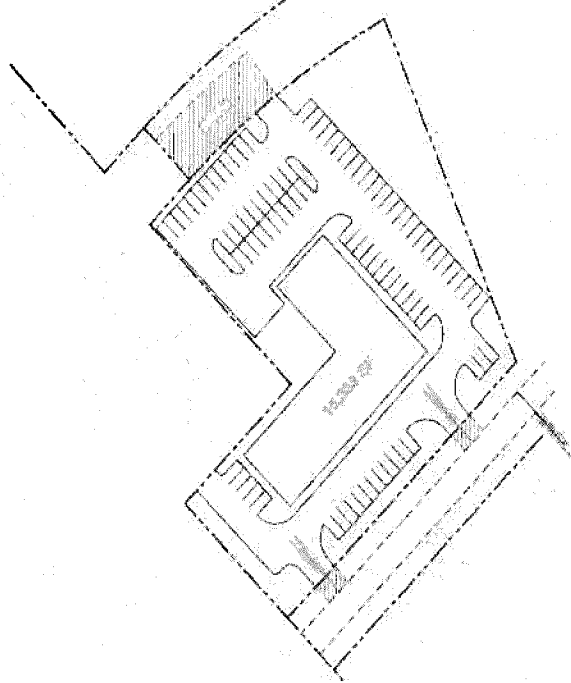


EXHIBIT "A"

PROPOSED ACCESS EASEMENT

Wal-Mart Super Center Addition Lot 4, Block A, Rockwall, Texas



Scale NTS

CONCEPTUAL SITE PLAN



July 8th, 2020

Electronically Filed and Recorded
Official Public Records
Jennifer Fogg, County Clerk
Rockwall County, Texas
07/14/2021 09:31:41 AM
Fee: \$50.00
20210000018836



A handwritten signature in cursive script that reads "Jennifer Fogg".

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/26/2022

PROJECT NUMBER: SP2022-044
PROJECT NAME: Site Plan for Advantage Storage
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Bethany Ross
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: bross@rockwall.com

CASE CAPTION: Discuss and consider a request by Bob Pruett of Urban Structure on behalf of Garrett Poindexter of Cambridge Properties, LLC for the approval of a Site Plan for a Mini-Warehouse Facility on a 3.682-acre tract of land being a portion of a larger 7.154-acre tract of land identified as Tract 3 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the SH-276 Overlay (SH-276 OV) District, situated at the southeast corner of the intersection of John King Boulevard and Discovery Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	08/26/2022	Approved w/ Comments

08/26/2022: SP2022-044; Site Plan for Advantage Storage

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Bob Pruett of Urban Structure on behalf of Garrett Poindexter of Cambridge Properties, LLC for the approval of a Site Plan for a Mini-Warehouse Facility on a 3.682-acre tract of land being a portion of a larger 7.154-acre tract of land identified as Tract 3 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, situated at the southeast corner of the intersection of John King Boulevard and Discovery Boulevard.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com. September 7, 2022 is the deadline to have all comments; please provide staff revised plans before September 7, 2022 to ensure all comments are addressed.

I.3 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.4 For reference, include the case number (SP2022-044) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02. D, Article 11, UDC)

M.5 Site Plan

(1) Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings berms, or walls matching the main structure. (Subsection 01.05.C, Article 05, UDC)

(2) All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction. (Subsection 01.05.C, of Article 05, UDC)

(3) Provide an exhibit of the dumpster enclosure. Trash/Recycling Enclosures shall be four (4) sided. These receptacles shall be screened by a minimum eight (8) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. These enclosures shall be located to the side or rear of the primary building, and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building. (Subsection 06.02.D.7, Article 05, UDC)

(4) The number of storage units per acre shall not exceed 125, the minimum number of storage units shall be ten (10), and the maximum site area shall be five (5) acres. (Subsection 02.03.J, Article 04, UDC)

(5) Only single-story units are allowed; however, no multistory buildings will be permitted unless an exception is approved by the Planning and Zoning Commission and City

- Council. If necessary, the office/caretaker residence unit may exceed one (1) story, but shall not be greater than 36-feet in height. (Subsection 02.03.J, Article 04, UDC)
- (6) A minimum of two (2) parking spaces shall be required for the on-site manager (i.e. caretaker, resident or otherwise). (Subsection 02.03.J, Article 04, UDC)
 - (7) No direct access from SH-276 and John King Boulevard. The City Council may consider granting direct access from the above-mentioned roadways after review and determination of the availability of access to the specific property. (Subsection 02.03.J, Article 04, UDC) A driveway access variance will need to be requested from City Council.
 - (8) Perimeter walls shall be provided which face the front, rear and side property lines. Overhead doors shall not face adjacent streets. Perimeter walls facing the front yard shall incorporate architectural features to break up the long repetitive nature of self-storage buildings (e.g. offsets in buildings, variation of materials, and/or variation of heights, etc.). No gutters and downspouts shall be incorporated in the perimeter walls facing the front property line. (Subsection 02.03.J, Article 04, UDC)
 - (9) The front, side and rear building set back areas shall be landscaped. Landscaping should be clustered, creating interesting relief from the long repetitive nature of self-storage buildings. (Subsection 02.03.J, Article 04, UDC)
 - (10) The facilities shall incorporate the use of perimeter gates that limit access to the storage areas to customers only. Special access for fire and police personnel shall be provided as required. (Subsection 02.03.J, Article 04, UDC)
 - (11) All screening fences shall be wrought iron with landscaping/living screen or masonry walls in accordance with the screening requirements contained in Subsection 05.02, Landscape Screening, of Article 08, Landscape and Fence Standards. See-through fencing should be wrought iron, or similar. Chain-link fencing of any kind shall be prohibited. (Subsection 02.03.J, Article 04, UDC)
 - (12) Buildings and see-through fencing should be oriented in a manner to restrict the visibility of interior overhead doors and drives from public right-of-way. The color(s) of the garage doors, as well as other doors within the facility, shall compliment the exterior colors of the main building(s). (Subsection 02.03.J, Article 04, UDC)
 - (13) The commercial operation of rental trucks and trailers shall be prohibited. (Subsection 02.03.J, Article 04, UDC)
 - (14) Businesses shall not be allowed to operate in the individual storage units. (Subsection 02.03.J, Article 04, UDC)
 - (15) No outside storage of any kind shall be allowed (including the outside storage of boats, recreational vehicles, and motor or self-propelled vehicles). (Subsection 02.03.J, Article 04, UDC)
 - (16) Concrete shall be used for all paving. (Subsection 02.03.J, Article 04, UDC)
 - (17) Roofs shall have a minimum pitch of 1:3 and be constructed with a metal standing seam. Mechanical equipment shall be screened with the roof structure or parapet walls. (Subsection 02.03.J, Article 04, UDC)
 - (18) The residential unit as an accessory to the permitted use shall not exceed 1,600 SF. (Subsection 02.03.J, Article 04, UDC)

M.6 Landscape Plan

- (1) A 15' landscape buffer is required along SH-276 and John King Boulevard. All landscape buffers shall incorporate ground cover, a built-up berm and shrubbery or a combination thereof along the entire length of the frontage. Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48- inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage along the Primary Roadway (i.e. SH-276 and John King Boulevard). (Subsection 06.02.E.1.i, Article 05, UDC).
- (2) All Canopy trees shall be a minimum of 4 inch caliper. (Subsection 07.01, Article 09, UDC)
- (3) Trees must be planted five feet from water, sewer, and storm sewer lines. (Subsection 05.03.E, of Article 08, UDC)
- (4) Ground mounted equipment and air conditioning units shall be screened utilizing plantings, berms, walls matching the main structure, or an architectural feature that is integral to the building's design. (Subsection 01:05.C, Article 05, UDC)
- (5) All shrubs shall be at least 5 gallon. (Subsection 06.02.E.2, Article 05, UDC).
- (6) One canopy tree is required per 750 SF of detention area and one accent tree is required for every 1,500 SF of detention area. (Subsection 05.03.D, Article 08) If approved with a Landscape Plan native grasses shall be exempt from the rules and requirements of Section 16-43, Weeds, Brush and Grass, of Chapter 16, Environment, of the Municipal Code of Ordinances; however, the grass should be maintained to a height typical for the particular native grass. Drainage or detention areas that utilize native grasses in lieu of turf shall be exempt from the requirements stipulated by Subsection 05.03(D) (i.e. one [1] tree per every 750 SF and one [1] accent tree per 1,500 SF of detention area). Instead, a shrub or ornamental grass per every 750 SF of dry land area shall be required to be planted on the site or around the detention area. All xeriscape/smartscape plans shall require approval by the Planning and Zoning Commission, upon a recommendation by staff concerning conformance to the requirements of this section, at the time of site plan approval. (Subsection 05.05.C&D, Article 08, UDC)

M.8 Building Elevations:

- (1) Indicate exterior elevations adjacent to public right-of-way.
- (2) Exterior walls should consist of 90% masonry materials and 20% stone excluding doors and windows. (Subsection 06.02.C, of Article 05, UDC)
- (3) Primary Materials shall include stone, brick, glass curtain wall, glass block, tile, and custom Concrete Masonry Units (CMU) (i.e. CMUs that have been sandblasted, burnished

or that have a split face -- light weight block or smooth faced CMU shall be prohibited). (Subsection 06.02.C.1 (a), of Article 05, UDC).

(4) Cementitious materials shall be limited to 50% of the building's exterior façade and stucco shall not be used within the first four (4) feet from grade on a building's façade.

(Subsection 06.02C. 1(a.2), of Article 05, UDC)

(5) Indicate the surface area of each façade and the percentage and square footage of each material used on that façade. (Subsection 04.01, Article 05, UDC)

(6) Indicate the roofing materials and color. (Subsection 04.01A.1, of Article 05, UDC).

(7) Indicate all roof mounted mechanical equipment and indicate how these will be screened from view (i.e. screening with parapets taller than the RTUs or adding louver screening). (Subsection 01.05.C, of Article 05, UDC)

(8) All parapets shall be finished on the interior side using the same materials as the exterior facing wall. (Subsection 04.01, of Article 05, UDC)

(9) The proposed buildings' facades does not meet the Commercial Building Articulation Standards. (Subsection 04.01.C, of Article 05, UDC)

(10) All structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. (Subsection 06.02.C.2)

(11) All buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building (Subsection 06.02.5, of Article 05, UDC).

M.9 Photometric Plan:

(1) Provide Lighting Cut sheets that indicates the wattage for each exterior lighting fixture. (Subsection 03.03.A, Article 07, UDC)

M.9 Based on the materials submitted staff has identified the following exceptions and variances for this project:

(1) Primary Materials. According to Subsection 05.01A1.a of Article 05, Development Standards, of the Unified Development Code (UDC), exterior walls should consist of 90% masonry materials. In this case, the applicant is proposing less than 90% masonry materials.

(2) 20% Stone. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), a minimum of 20% natural or quarried stone is required on all building façades. In this case, the

(3) Four-sided Architecture. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), all buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building.

(4) Cementitious Materials. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), the use of cementitious materials (e.g. stucco, cementitious lap siding, or similar materials approved by the Director of Planning and Zoning or his/her designee) shall be limited to 50% of the building's exterior façade; however, stucco shall not be used within the first four (4) feet from grade on a building's façade.

(5) Driveway Spacing. According to the According to Figure 2.3, Minimum Driveway Spacing and Corner Clearance, of Section 2.7, Block Widths, of Article 2, Streets, of the Engineering Department's Standards of Design and Construction Manual, the driveway spacing is 200-feet. In this case, the applicant is proposing the driveway spacing along John King Boulevard to be less than 200-feet.

(6) Roof Design Standards. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. Those structures having a footprint 6,000 SF or greater shall have the option of being constructed with either a pitched, parapet, or mansard roof system as long as the roof system is enclosed on all sides. Standing seam metal roofs shall be constructed of a factory-treated, non-metallic, matte finish to avoid glare. Metal roofs with lapped seam construction, bituminous built-up roofs, and/or flat membranetype roofs that are visible from adjacent public right-of-way shall be prohibited."

M.10 Please review and correct all items listed by the Engineering Department.

M. 11 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and subsequent two (2) compensatory measures for each exception or variance. (Subsection 09.02, of Article 11). Compensatory measures to consider:

(1) Higher caliper trees.

(2) Additional landscaping.

(3) Increased building articulation.

(4) Increased architectural elements.

I.12 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on August 30, 2022.
- (2) Planning & Zoning meeting/public hearing meeting will be held on September 13, 2022.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	08/25/2022	Needs Review

- 08/25/2022: - All fire hydrants to have 5' clearance around and be in a 20' easement. No structures allowed in easements.
- Dumpster must be skewed 45 degrees from facing a roadway.
 - Dumpster to have an oil/water separator and then drain to the storm lines.
 - Connect to storm running to existing detention pond. This site has split drainage, so you'll need to follow the drainage plan from SH 205 Bypass plans (John King), Discovery Ext, and 7-Eleven
 - No ditch see Discovery Ext. Plans...this must be enclosed. Will need off-site drainage esmt. to get to storm stub out
 - Parking adjacent to the building to be 20'x9' minimum.
 - Must show existing/proposed utilities.

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and taller must be engineered.
- Retaining walls 18" and taller must be rock or stone faced. No smooth concrete walls.
- Will need gas company's approval for any work done in their easement.

Roadway Paving Items:

- Parking to be 20'x9' for spaces that are nose-to-nose or adjacent to the building. Other parking may be 18'x9' minimum (with 2' clear overhang, no trees, bushes, shrubs, etc.)
- All drive isles to be 24' wide minimum.
- Fire lane radii depends on the height of the building. If the building height is 30' or more, the radii must be 30'. If shorter than 30', the radii can be 20' min.
- Must install a 10' wide sidewalk along John King.
- No dead-end parking
- Traffic Impact Analysis required. Review fees apply.

Water and Wastewater Items:

- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must loop min 8" water line on site.
- Public sewer is minimum 8" diameter
- Sewer pro-rata of \$2,773.07/acre.
- Must extend sewer to north property line.

Drainage Items:

- Detention is required. No vertical walls in detention easement.
- Rational Method C-value is per zoning type.

- Dumpster area to drain to an oil/water separator and then to the storm lines.
- Detention outfall to be piped to Discovery Blvd system

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	08/24/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/24/2022	Approved w/ Comments
08/24/2022: Fire lane serving buildings 3 or more stories or over 30-ft in height shall have an inside radius of 30 feet. The plans currently indicate 25 feet. Revise or submit autoTURN exhibit showing the ability of Rockwall Fire's largest aerial apparatus to navigate the site.			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/22/2022	Approved w/ Comments

08/22/2022: +Address assignments:+

- BUILDING A = 1705 S JOHN KING BLVD, ROCKWALL, TX 75032
- BUILDING B = 1689 S JOHN KING BLVD, ROCKWALL, TX 75032
- BUILDING C = 1715 S JOHN KING BLVD, ROCKWALL, TX 75032
- BUILDING D = 1711 STATE HIGHWAY 276, ROCKWALL, TX 75032

*Suite numbers will be handled at Permitting following these guidelines: <http://www.rockwall.com/pz/GIS/AddressingStandards.pdf>

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/19/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/22/2022	Approved w/ Comments

08/22/2022: Tree Mitigation and Landscape Plan approved
Tree is utility easement may need to be removed per Engineering

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and taller must be engineered.
- Retaining walls 18" and taller must be rock or stone faced. No smooth concrete walls.
- Will need gas company's approval for any work done in their easement.

Roadway Paving Items:

- Parking to be 20'x9' for spaces that are nose-to-nose or adjacent to the building. Other parking may be 18'x9' minimum (with 2' clear overhang, no trees, bushes, shrubs, etc.)
- All drive isles to be 24' wide minimum.
- Fire lane radii depends on the height of the building. If the building height is 30' or more, the radii must be 30'. If shorter than 30', the radii can be 20' min.
- Must install a 10' wide sidewalk along John King.
- No dead-end parking
- Traffic Impact Analysis required. Review fees apply.

Water and Wastewater Items:

- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must loop min 8" water line on site.
- Public sewer is minimum 8" diameter
- Sewer pro-rata of \$2,773.07/acre.
- Must extend sewer to north property line.

Drainage Items:

- Detention is required. No vertical walls in detention easement.
- Rational Method C-value is per zoning type.
- Dumpster area to drain to an oil/water separator and then to the storm lines.
- Detention outfall to be piped to Discovery Blvd system

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

Must show existing/proposed utilities.

Dumpster to have an oil/water separator and then drain to the storm lines.

Dumpster must be skewed 45 degrees from facing a roadway.

All fire hydrants to have 5' clearance around and be in a 20' easement. No structures allowed in easements

No ditch see Discovery Ext. Plans...this must be enclosed. Will need off-site drainage esmt. to get to storm stub out

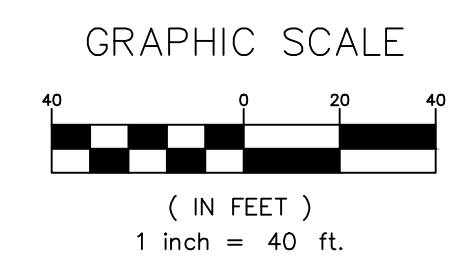
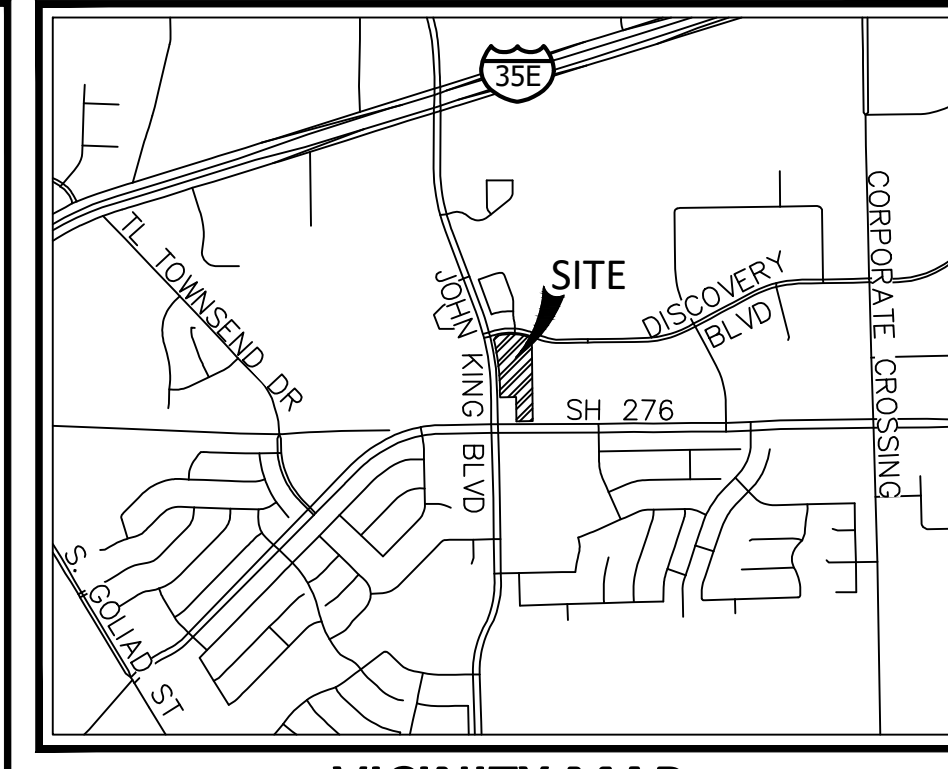
Connect to storm running to existing detention pond. This site has split drainage, so you'll need to follow the drainage plan from SH 205 Bypass plans (John King, Discovery Ext, and 7-Eleven

PAVEMENT LEGEND

	EXISTING PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	LIGHT DUTY CONCRETE PAVEMENT

SITE DATA TABLE

EXISTING USE:	VACANT
PROPOSED USE:	MINI-WAREHOUSE & OFFICE SUITES
EXISTING ZONING DISTRICT:	PLANNED DEVELOPMENT (PD-10)
SITE AREA (LOT 2):	3.682 AC (160,388 SF)
SITE AREA (LOT 3):	2.565 AC (111,710 SF)
TOTAL SITE AREA:	6.247 AC (272,107 SF)
FOR LOT 2 ONLY	
BUILDING AREA:	MINI-WAREHOUSE: 69,250 SF
	OFFICE SUITES: 4,400 SF
BUILDING A (3 STORIES):	11,350 SF
BUILDING B (1 STORY):	4,000 SF
BUILDING C (1 STORY):	13,100 SF
BUILDING D (1 STORY):	3,000 SF
TOTAL BUILDING AREA:	105,100 SF
TOTAL BUILDING FOOTPRINT AREA:	56,000 SF
TOTAL STORAGE UNITS:	635 UNITS
	REQUIRED: 105,100 SF
	PROVIDED: 56,000 SF (35%)
MAXIMUM LOT COVERAGE:	96,233 SF (60%)
FLOOR TO AREA RATIO:	4.1
MAXIMUM BUILDING HEIGHT:	60 FT
	42 FT
LANDSCAPE AREA:	32,078 SF (20%)
	58,982 SF (36.8%)
PARKING REQUIRED:	MINI-WAREHOUSE: 23 STALLS
	OFFICE SUITES: 11 STALLS
	(3 STALLS + 1/100 UNITS)
	(1300 SF)
TOTAL PARKING REQUIRED:	34 STALLS
TOTAL PARKING PROVIDED:	34 STALLS
NOTE: PD-10 REQUIRES COMMERCIAL (C) ZONING STANDARDS TO BE FOLLOWED FOR A NON-RESIDENTIAL DEVELOPMENT.	



TOCS
1-800-245-4545
tdticket@1-call.com

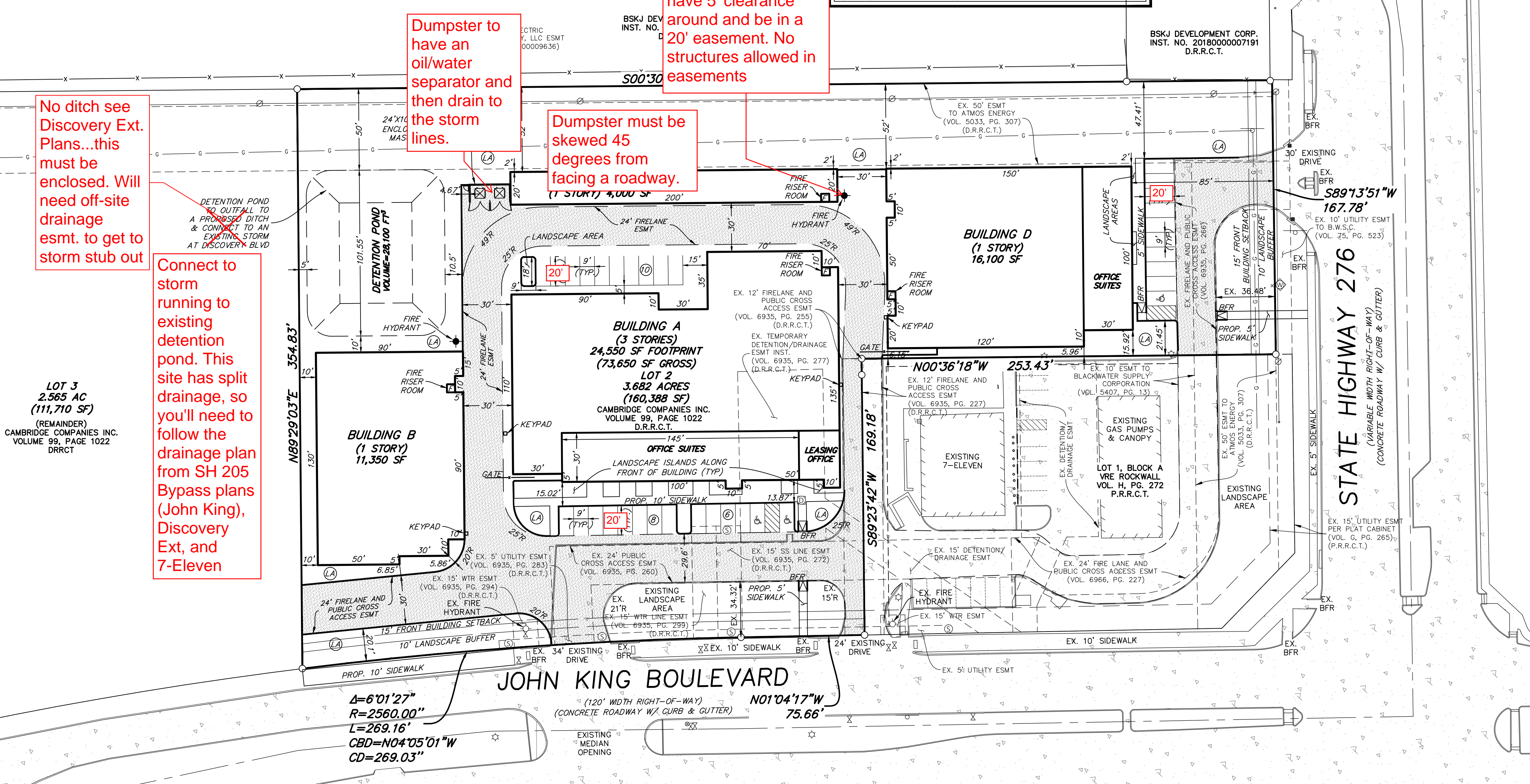


PRELIMINARY
NOT FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSE.
PREPARED UNDER THE SUPERVISION OF ROBERT L. PRUETT, JR. P.E. #53862 ON 08/19/2022

ADVANTAGE STORAGE
1701 STATE HIGHWAY 276
OUT OF THE JAMES M. ALLEN SURVEY, ABSTRACT NO. 2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PROJECT:	ADVANTAGE STORAGE
CLIENT:	LL
DRAWN BY:	LL
DESIGNER:	LL
REVIEWER:	BP
U.S. PROJECT:	22577

SHEET **C1.1**



LOT 3
2.565 AC
(111,710 SF)
(REMAINDER)
CAMBRIDGE COMPANIES INC.
VOLUME 99, PAGE 1022
D.R.R.C.T.

A=6'01'27"
R=2560.00"
L=269.16"
CBD=N04'05'01"W
CD=269.03"

DEVELOPER
ADVANTAGE STORAGE
2221 LAKESIDE BOULEVARD, SUITE 1260
RICHARDSON, TEXAS 75082
CONTACT: RICK JONES
PHONE: (972) 547-0236

ARCHITECT
BACA STUDIO
100 N. TRAVIS STREET, SUITE 500A
SHERMAN, TEXAS 75090
CONTACT: DAVID BACA
PHONE: (903) 893-5800
EMAIL: DAVID@DAVIDBACASTUDIO.COM

ENGINEER
URBAN STRUCTURE
8140 WALNUT HILL LANE, SUITE 905
DALLAS, TX 75231
CONTACT: ROBERT L. PRUETT, P.E.
PHONE: (214) 295-5347
EMAIL: BPRUETT@URBANSTRUCT.COM

SURVEYOR
URBAN STRUCTURE
8140 WALNUT HILL LANE, SUITE 905
DALLAS, TX 75231
CONTACT: DUSTIN KAISER, R.P.L.S.
PHONE: (214) 295-5775
EMAIL: DKAISER@URBANSTRUCT.COM

LANDSCAPE ARCHITECT
EVERGREEN DESIGN GROUP
15455 DALLAS PARKWAY, SUITE 600
ADDISON, TX 75001
DARCY BRANDON
PHONE: (800) 680-6630
EMAIL: DARCY@EVERGREENDESIGNGROUP.COM

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ DAY OF ____.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

SUBDIVISION

NA

LOT

BLOCK

GENERAL LOCATION

NE QUAD JAMES KING & US 276

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

PD HIGHWAY OVERLAY

CURRENT USE

VACANT

PROPOSED ZONING

" " "

PROPOSED USE

MINI-STORAGE

ACREAGE

3.682

LOTS [CURRENT]

0

LOTS [PROPOSED]

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

CAMBRIDGE PROPERTIES INC

APPLICANT

BOB PRUETT

CONTACT PERSON

GARRETT POINDEXTER

CONTACT PERSON

URBAN STRUCTURE

ADDRESS

8750 N. CENTRAL EXP.
SUITE 1735

ADDRESS

8140 WALNUT HILL
SUITE 905

CITY, STATE & ZIP

DALLAS TX 75231

CITY, STATE & ZIP

DALLAS TX 75231

PHONE

972-832-8933

PHONE

214-295-5347

E-MAIL

RJONES@ADVANTAGESTORAGE.NET

E-MAIL

BPRUETT@URBANSTRUCT.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JAMES J. MELINDO [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

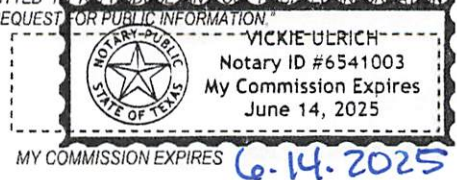
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF JULY, 2022

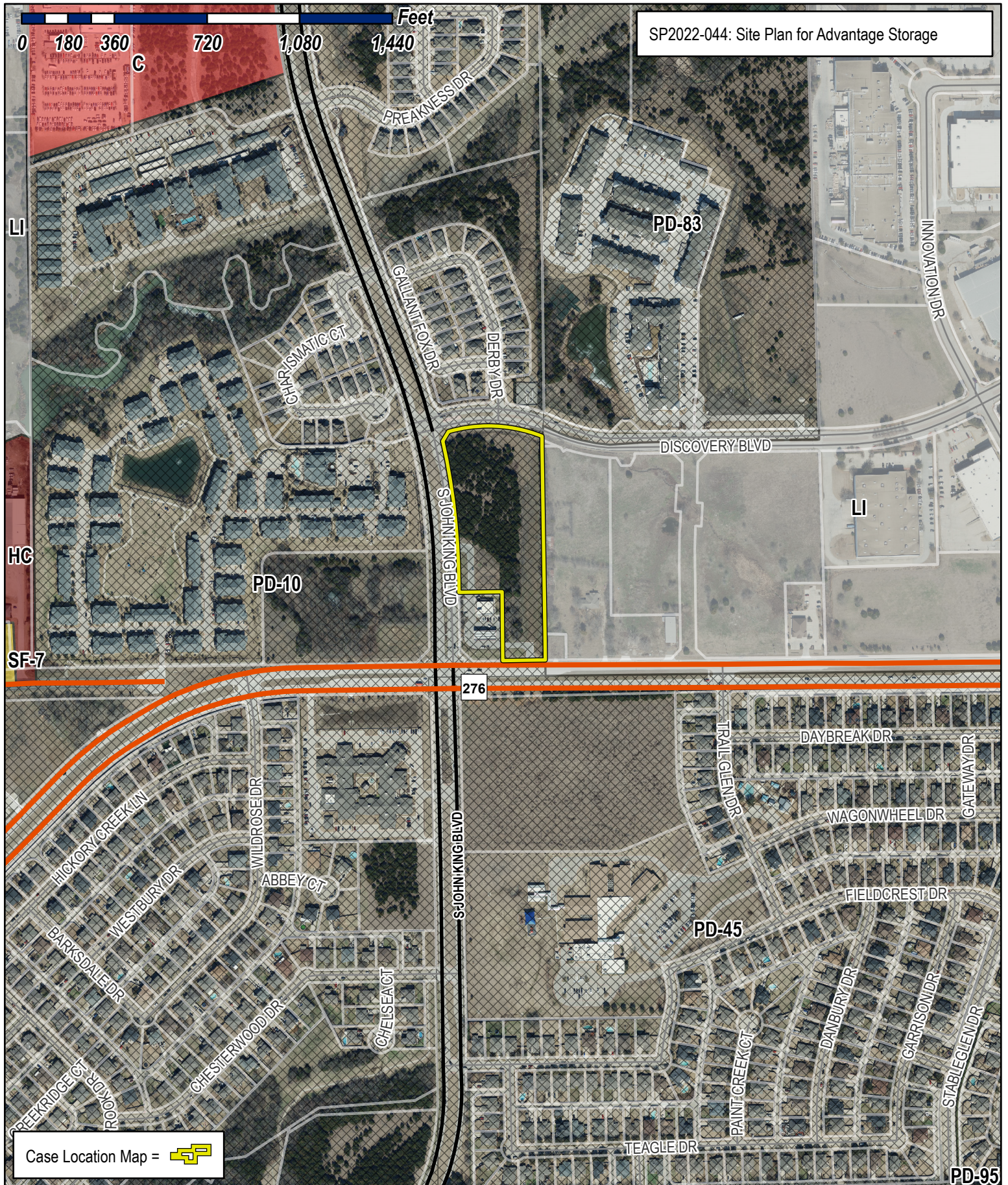
OWNER'S SIGNATURE


James J. Melindo

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Vickie Uelrich





Case Location Map = 



City of Rockwall

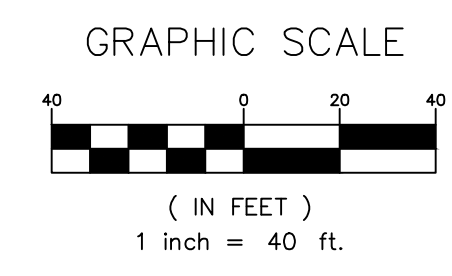
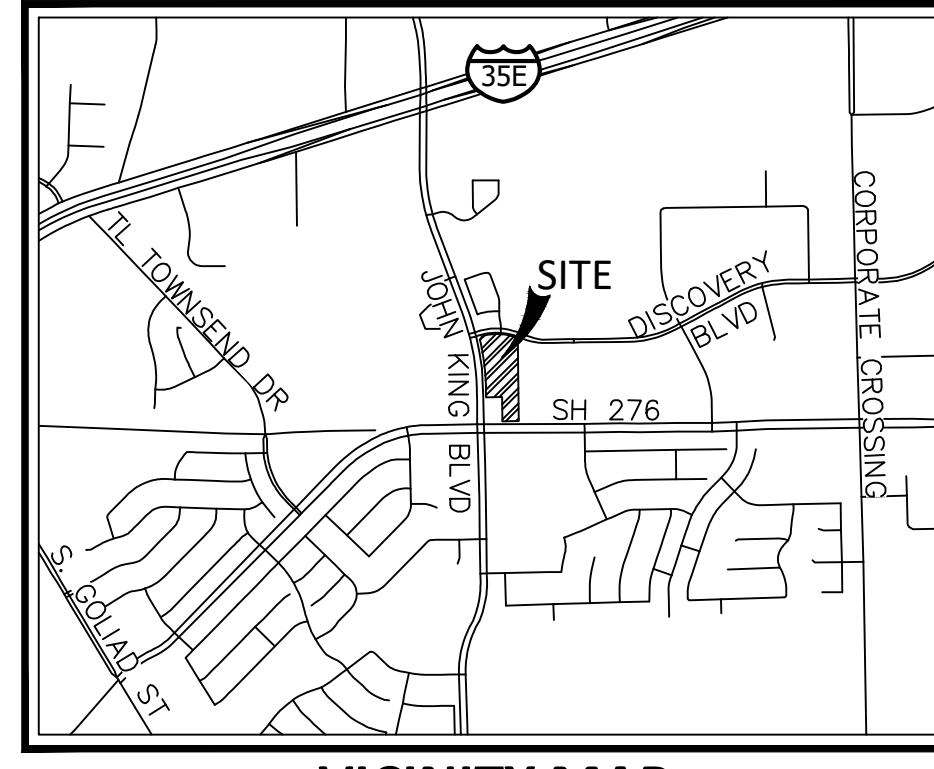
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



PAVEMENT LEGEND	
	EXISTING PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	LIGHT DUTY CONCRETE PAVEMENT

SITE DATA TABLE	
EXISTING USE:	VACANT
PROPOSED USE:	MINI-WAREHOUSE & OFFICE SUITES
EXISTING ZONING DISTRICT:	PLANNED DEVELOPMENT (PD-10)
SITE AREA (LOT 2):	3.682 AC (160,388 SF)
SITE AREA (LOT 3):	2.565 AC (111,719 SF)
TOTAL SITE AREA:	6.247 AC (272,107 SF)
FOR LOT 2 ONLY	
BUILDING AREA:	MINI-WAREHOUSE OFFICE SUITES
BUILDING A (3 STORIES):	62,250 SF 4,400 SF
BUILDING B (1 STORY):	11,350 SF 0 SF
BUILDING C (1 STORY):	4,000 SF 0 SF
BUILDING D (1 STORY):	13,100 SF 3,000 SF
TOTAL BUILDING AREA:	105,100 SF 56,000 SF
TOTAL BUILDING FOOTPRINT AREA:	56,000 SF
TOTAL STORAGE UNITS:	635 UNITS
	REQUIRED PROVIDED
MAXIMUM LOT COVERAGE:	96,233 SF (60%) 56,000 SF (35%)
FLOOR TO AREA RATIO:	4.1 0.66:1
MAXIMUM BUILDING HEIGHT:	60 FT 42 FT
LANDSCAPE AREA:	32,078 SF (20%) 58,982 SF (36.8%)
PARKING REQUIRED:	MINI-WAREHOUSE OFFICE SUITES
	9 STALLS 23 STALLS
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NOTE: PD-10 REQUIRES COMMERCIAL (C) ZONING STANDARDS TO BE FOLLOWED FOR A NON-RESIDENTIAL DEVELOPMENT.	



TOCS
1-800-245-4545
bticket@1-call.com

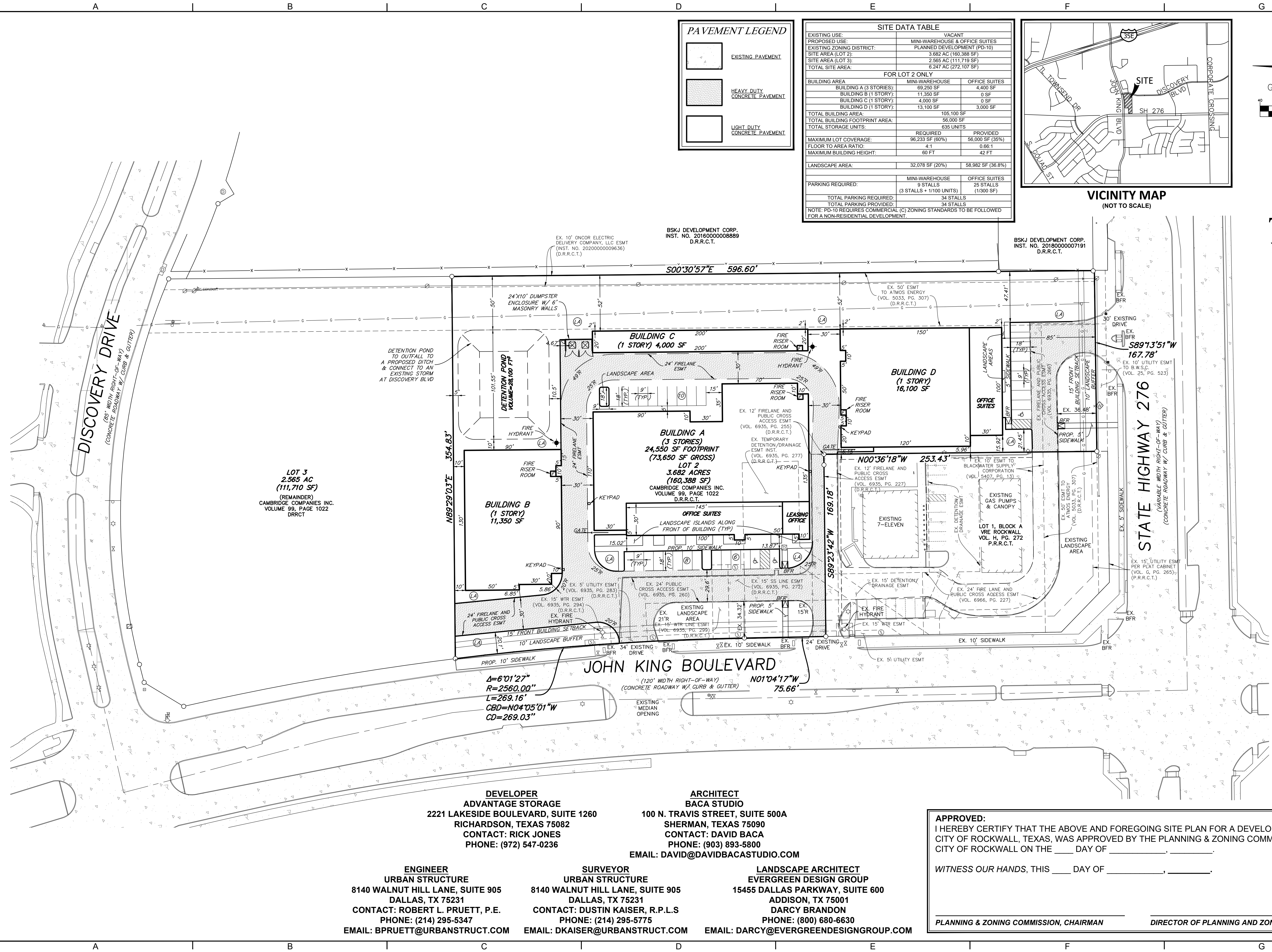


PRELIMINARY
NOT FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSE.
PREPARED UNDER THE SUPERVISION OF ROBERT L. PRUETT, JR. P.E. #53862 ON 08/19/2022

ADVANTAGE STORAGE
1701 STATE HIGHWAY 276
OUT OF THE JAMES M. ALLEN SURVEY, ABSTRACT NO. 2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PROJECT:	
PREPARED ON:	07/14/2022
CLIENT:	ADVANTAGE STORAGE
DRAWN BY:	LL
DESIGNER:	LL
REVIEWER:	BP
U.S. PROJECT:	22577

SHEET
C1.1



DEVELOPER
ADVANTAGE STORAGE
2221 LAKESIDE BOULEVARD, SUITE 1260
RICHARDSON, TEXAS 75082
CONTACT: RICK JONES
PHONE: (972) 547-0236

ARCHITECT
BACA STUDIO
100 N. TRAVIS STREET, SUITE 500A
SHERMAN, TEXAS 75090
CONTACT: DAVID BACA
PHONE: (903) 893-5800
EMAIL: DAVID@DAVIDBACASTUDIO.COM

ENGINEER
URBAN STRUCTURE
8140 WALNUT HILL LANE, SUITE 905
DALLAS, TX 75231
CONTACT: ROBERT L. PRUETT, P.E.
PHONE: (214) 295-5347
EMAIL: BPRUETT@URBANSTRUCT.COM

SURVEYOR
URBAN STRUCTURE
8140 WALNUT HILL LANE, SUITE 905
DALLAS, TX 75231
CONTACT: DUSTIN KAISER, R.P.L.S.
PHONE: (214) 295-5775
EMAIL: DKAISER@URBANSTRUCT.COM

LANDSCAPE ARCHITECT
EVERGREEN DESIGN GROUP
15455 DALLAS PARKWAY, SUITE 600
ADDISON, TX 75001
DARCY BRANDON
PHONE: (800) 680-6630
EMAIL: DARCY@EVERGREENDESIGNGROUP.COM

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ DAY OF ____.

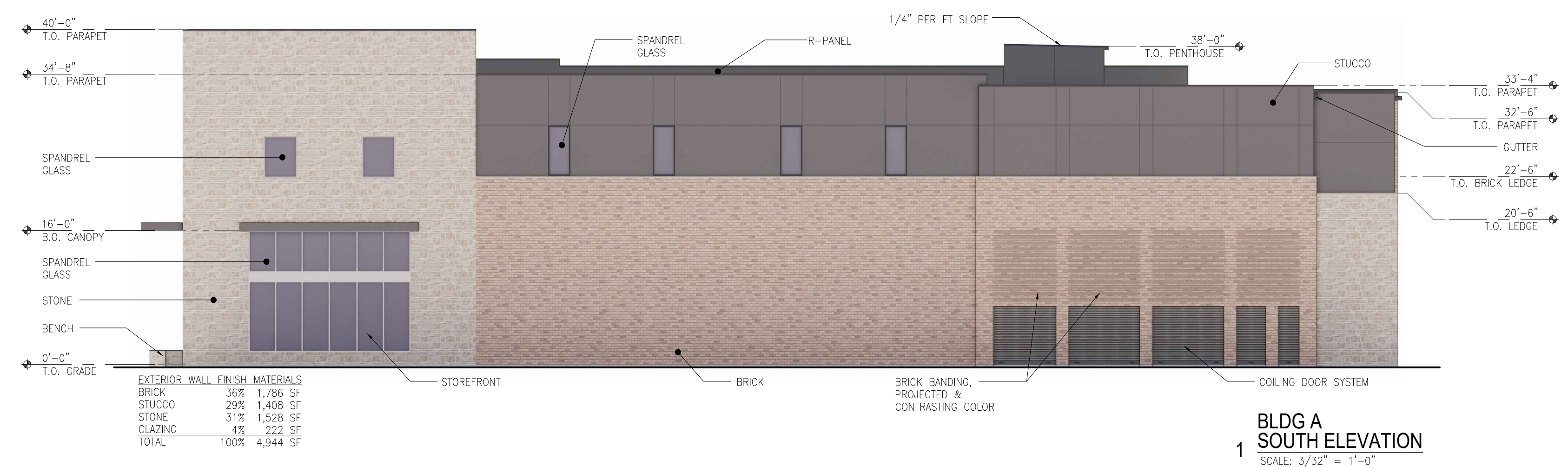
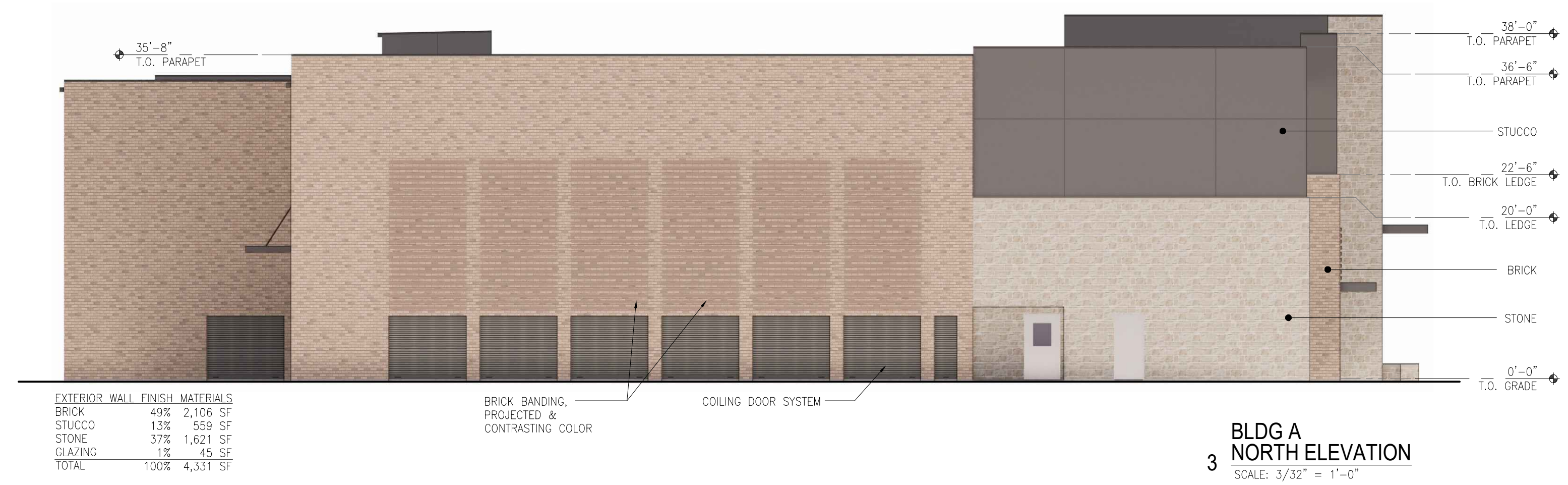
PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

SCHEMATIC DESIGN REVIEW

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

REVISIONS	
NO.	DESCRIPTION



exterior elevations - bldg a

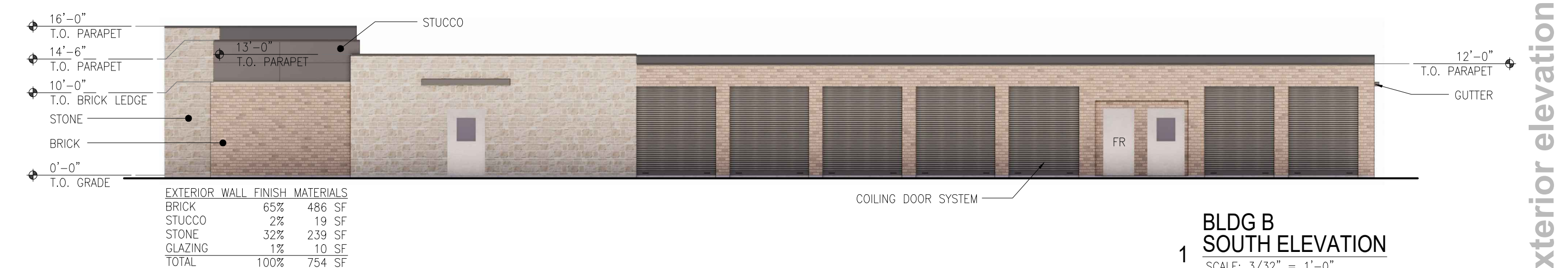
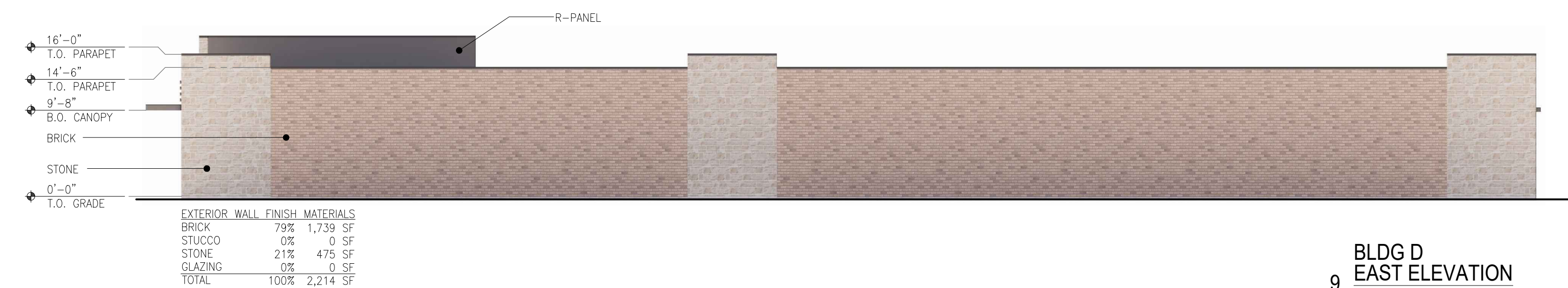
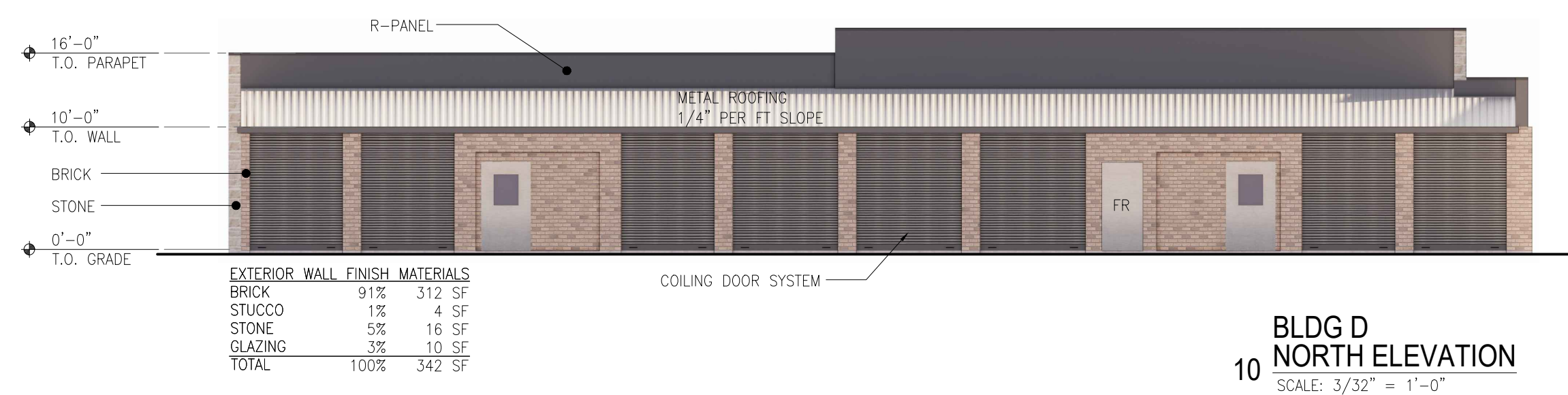
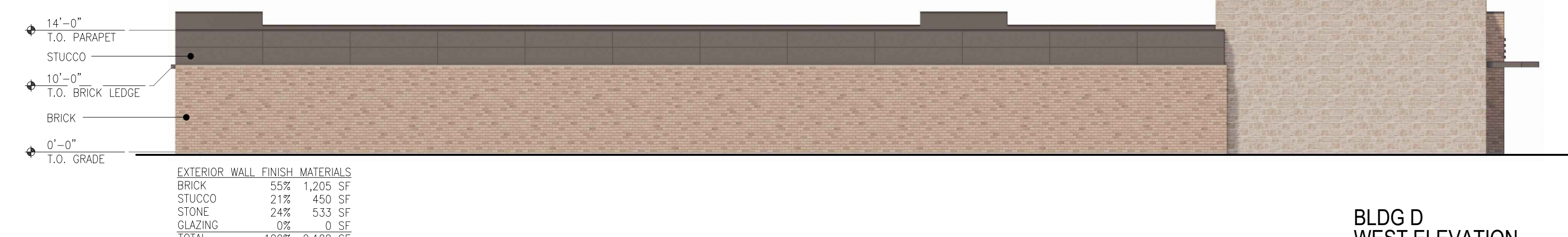
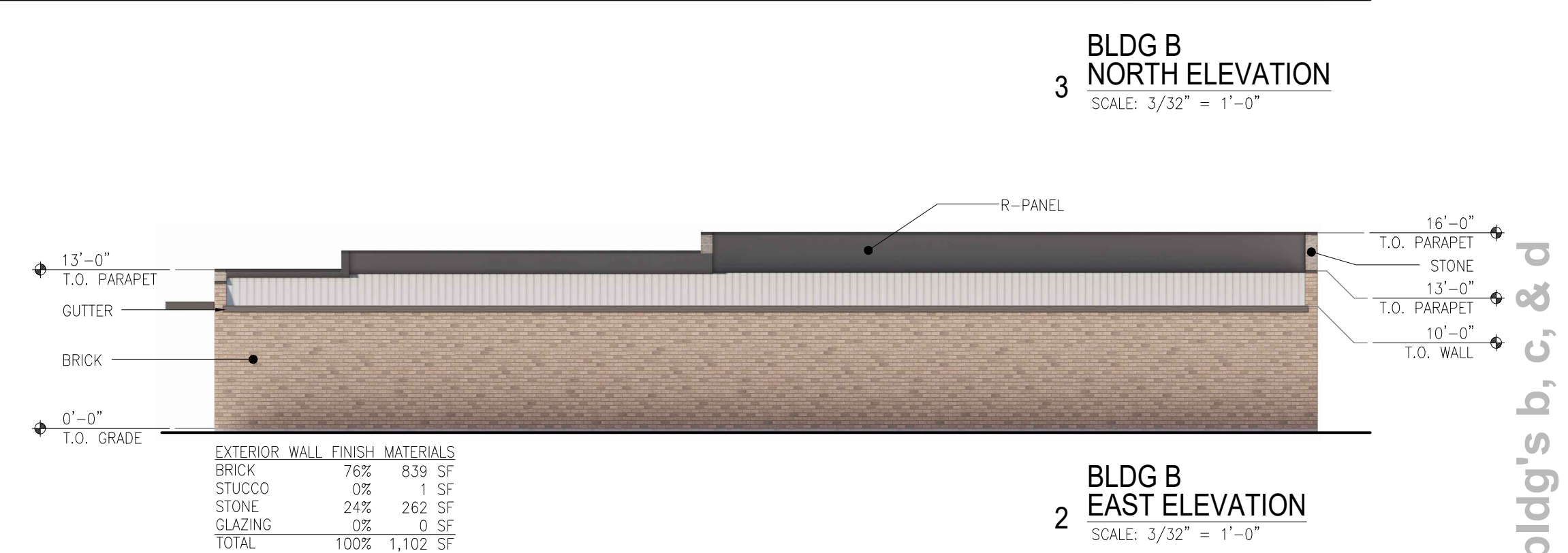
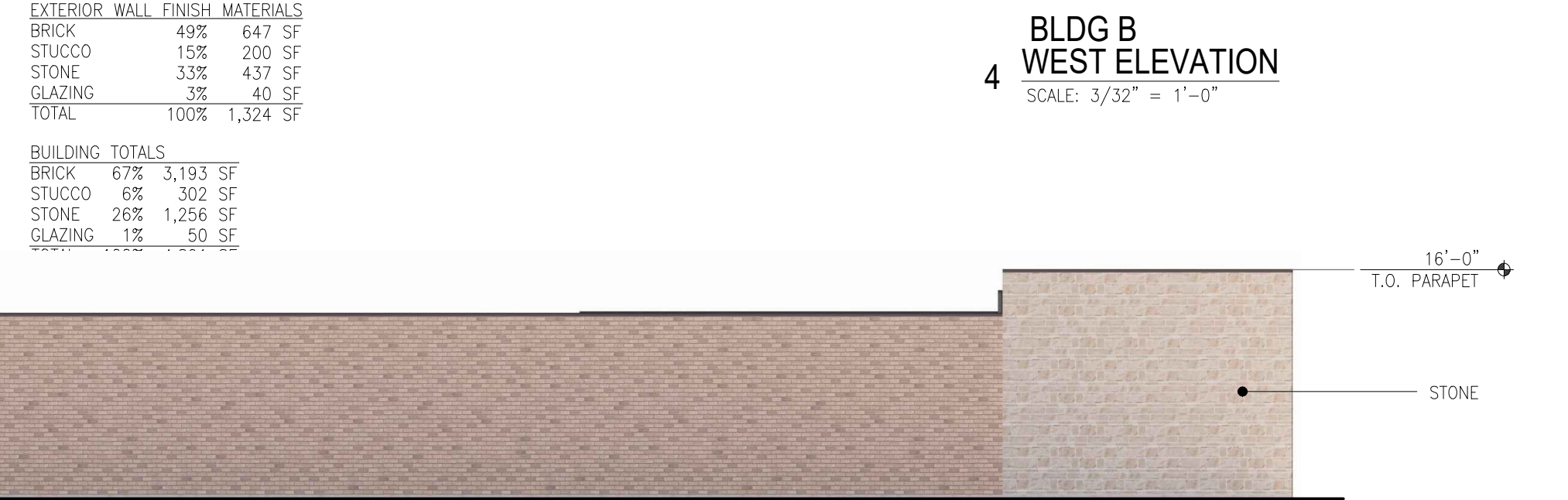
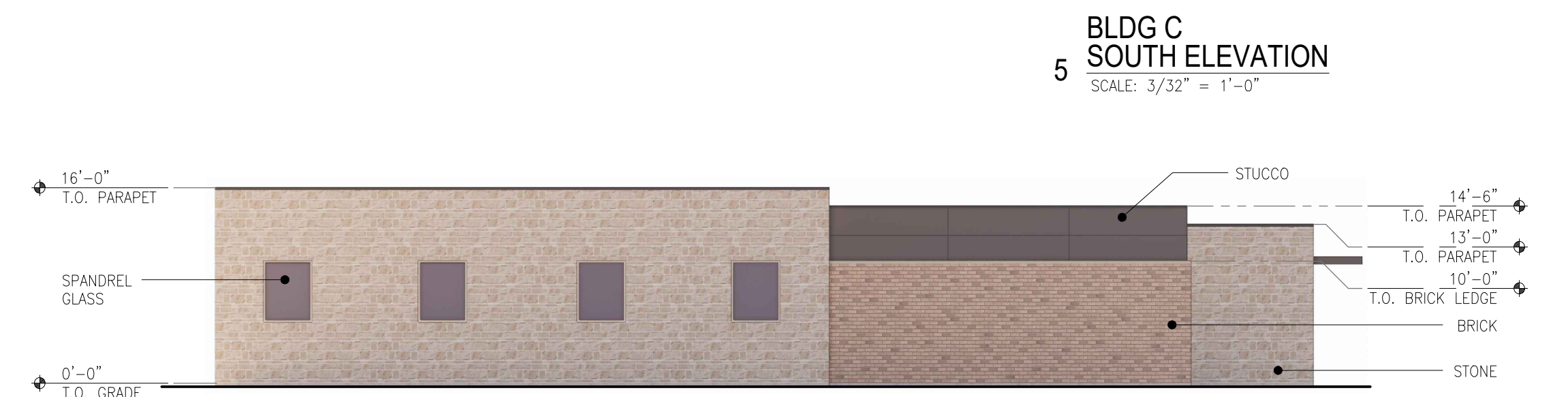
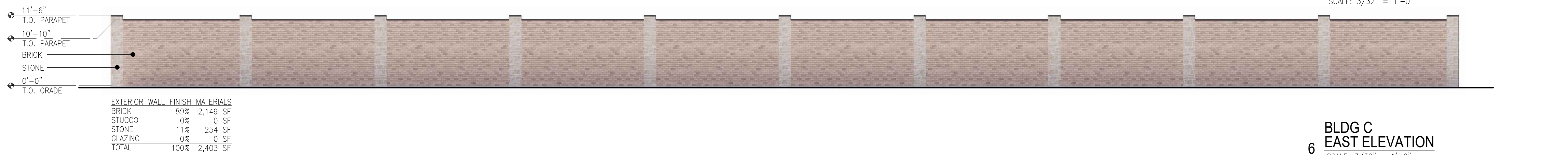
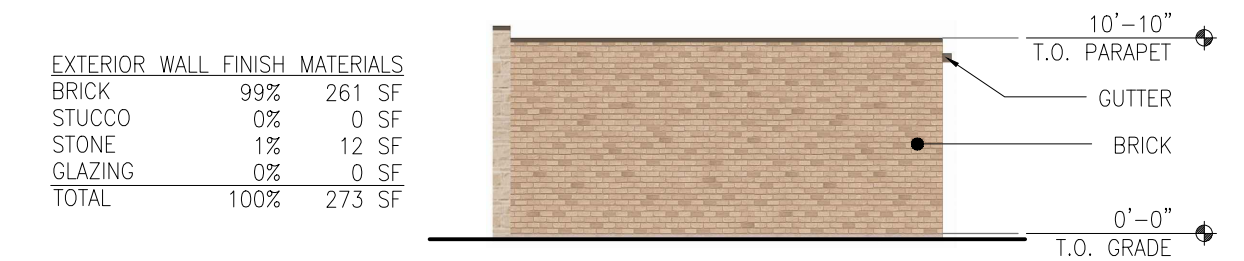
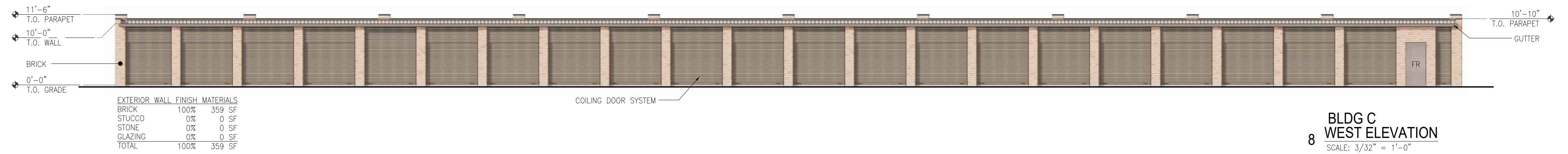
Advantage Storage Rockwall

PROJECT NUMBER
2225
DATE
08.08.22
SHEET NUMBER
A6.0

SCHEMATIC DESIGN REVIEW

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

NO.	DESCRIPTION	DATE



exterior elevations - bldg's b, c, & d

Advantage Storage Rockwall

PROJECT NUMBER
2225
DATE
08.08.22
SHEET NUMBER
A6.1



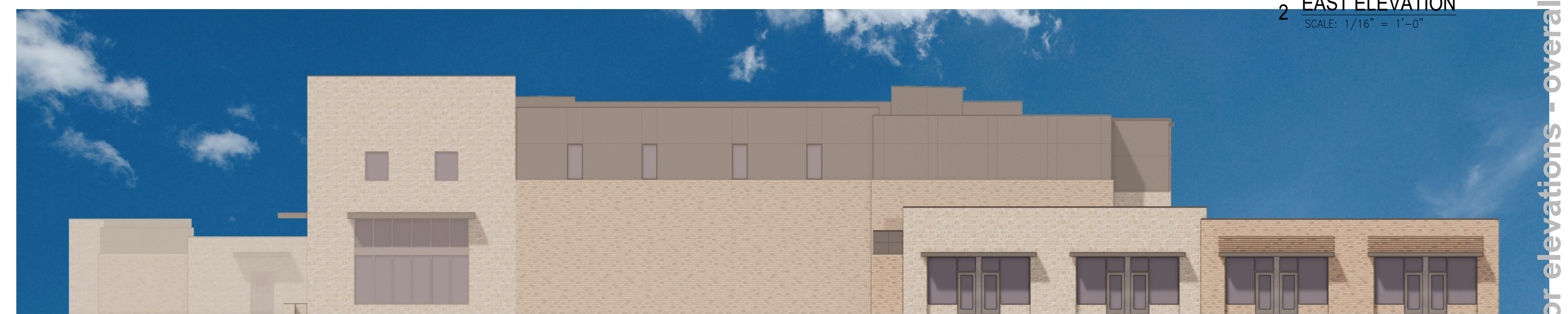
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 SCALE: 1/16" = 1'-0"



3 OVERALL NORTH ELEVATION
 SCALE: 1/16" = 1'-0"



2 OVERALL EAST ELEVATION
 SCALE: 1/16" = 1'-0"



1 OVERALL SOUTH ELEVATION
 SCALE: 1/16" = 1'-0"

REVISIONS	
NO.	DESCRIPTION

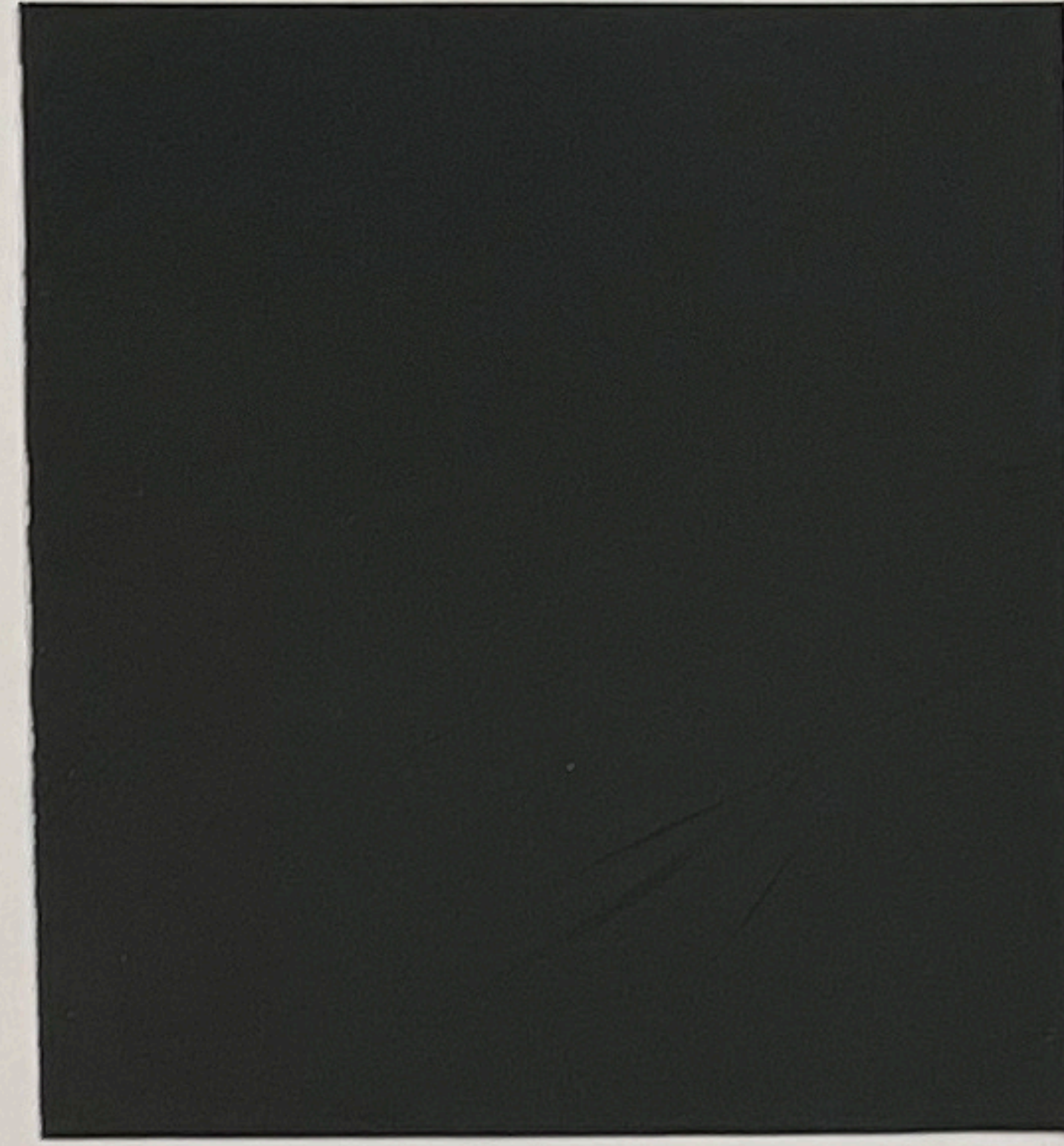
Advantage Storage Rockwall

exterior elevations - overall

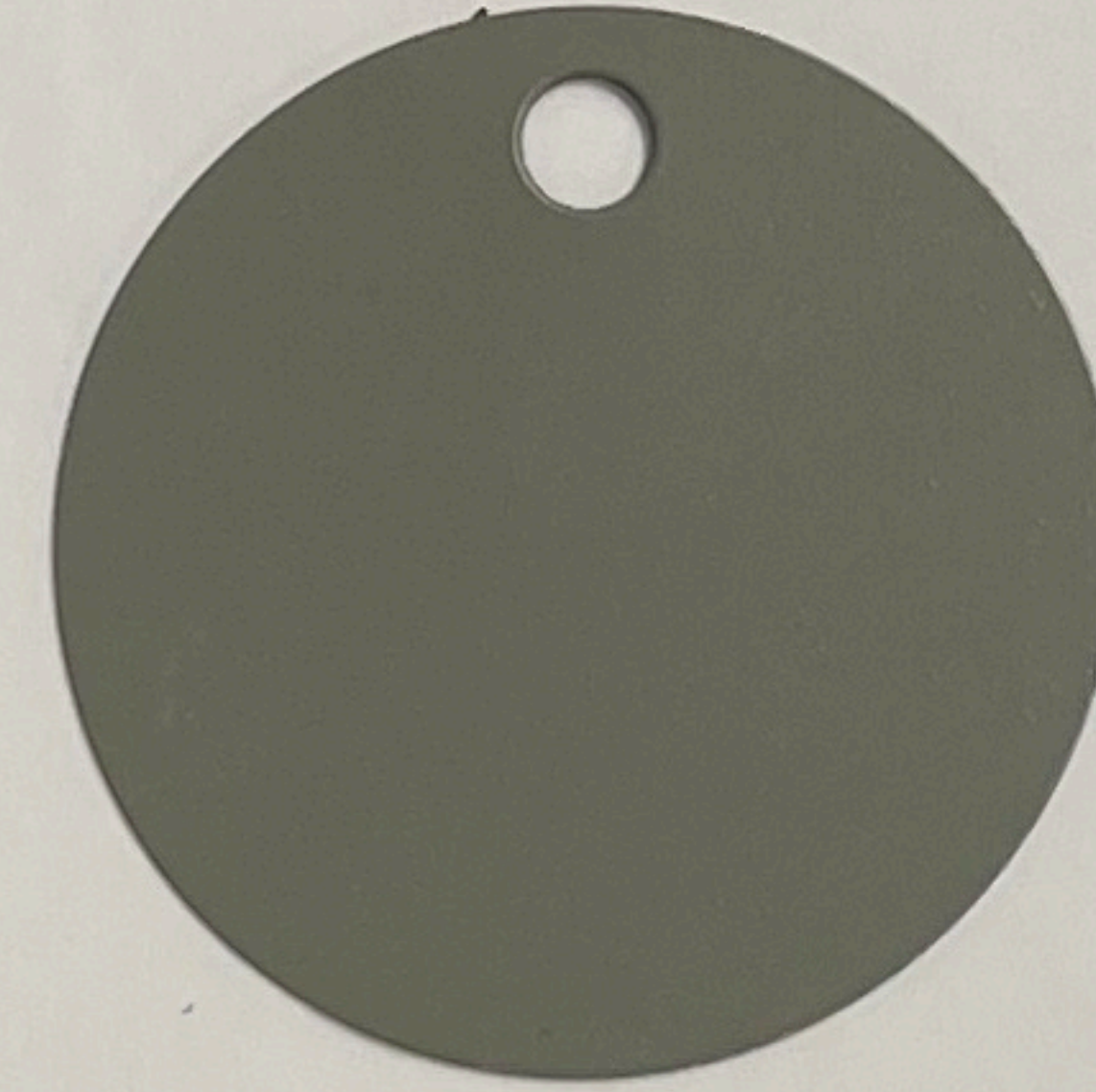
PROJECT NUMBER
2225
 DATE
08.08.22
 SHEET NUMBER
A6.2



4



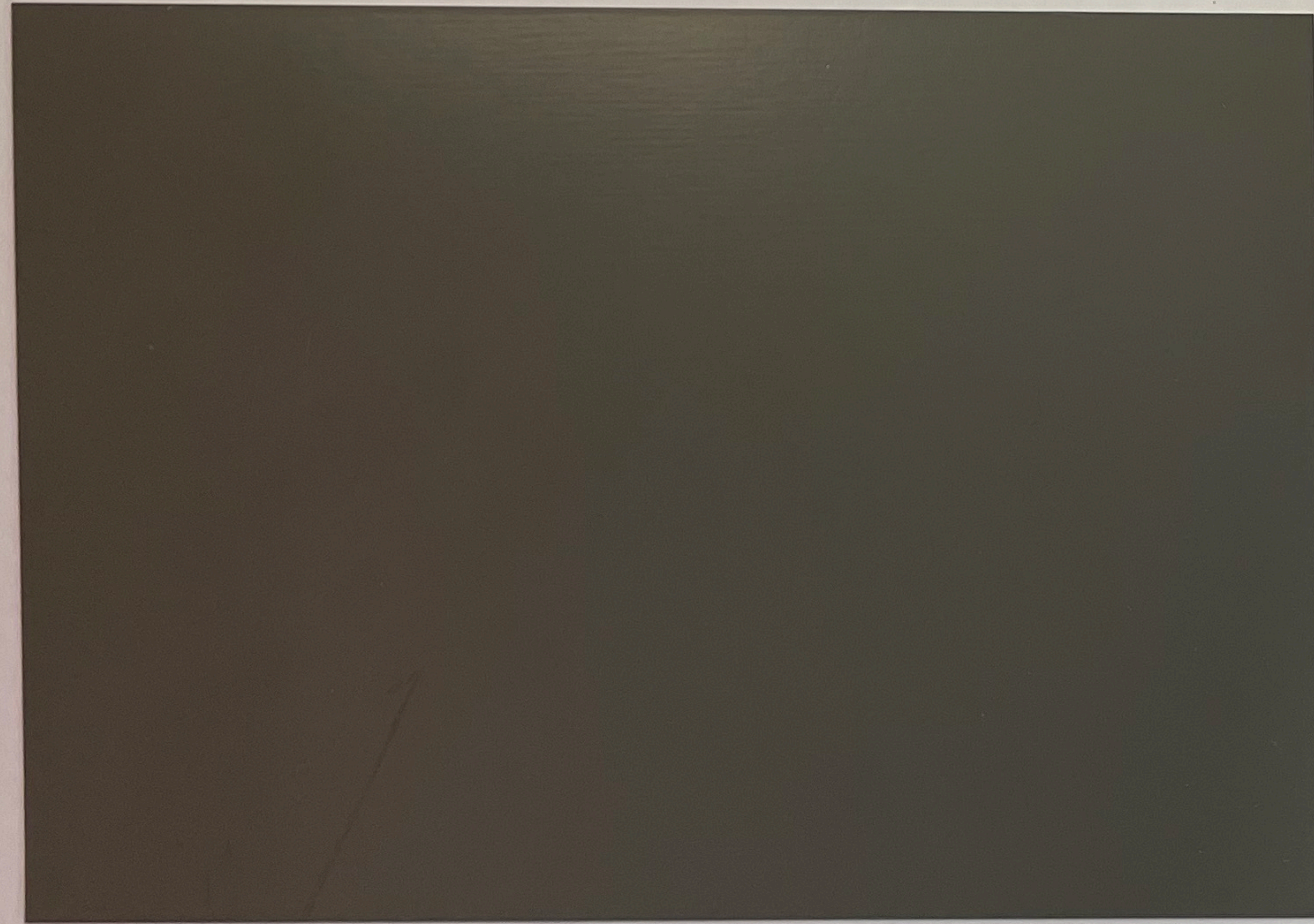
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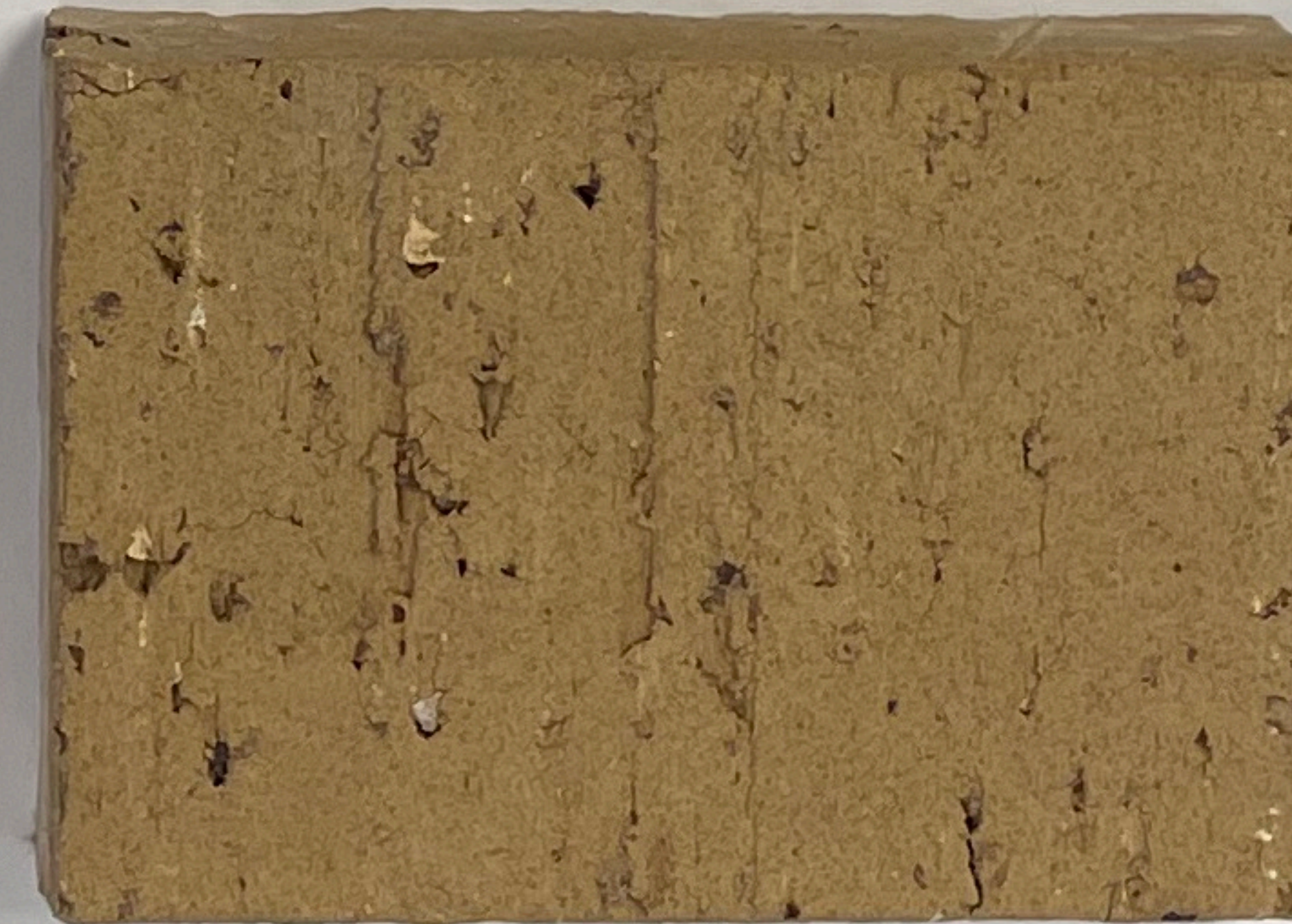
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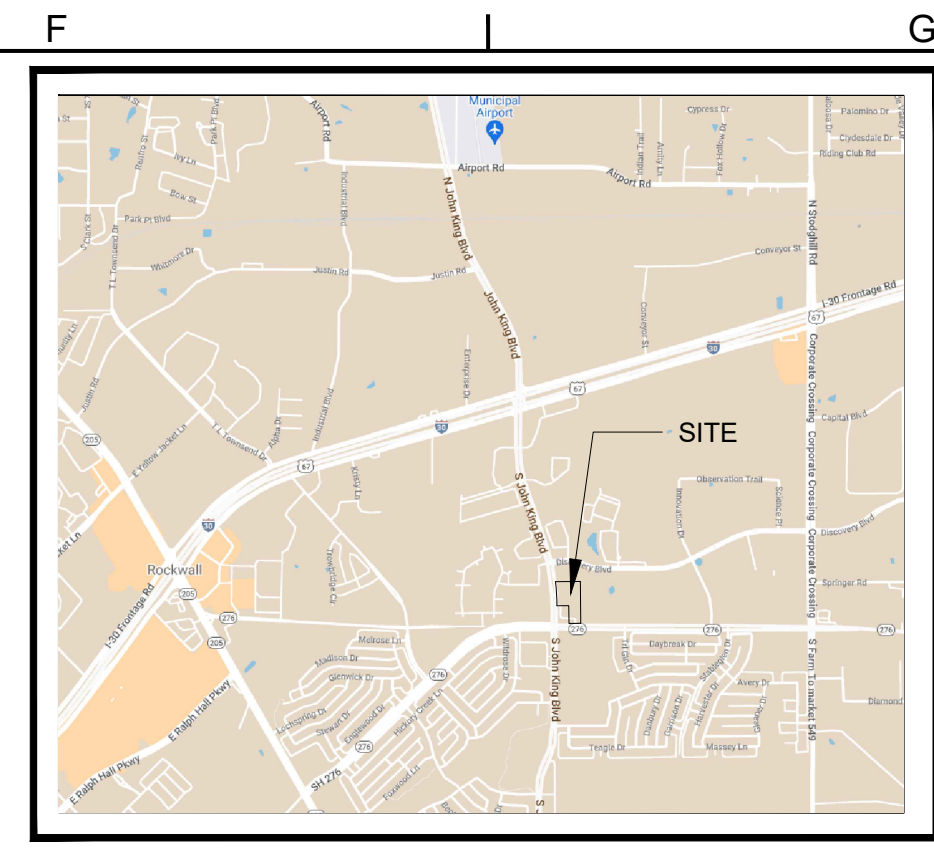
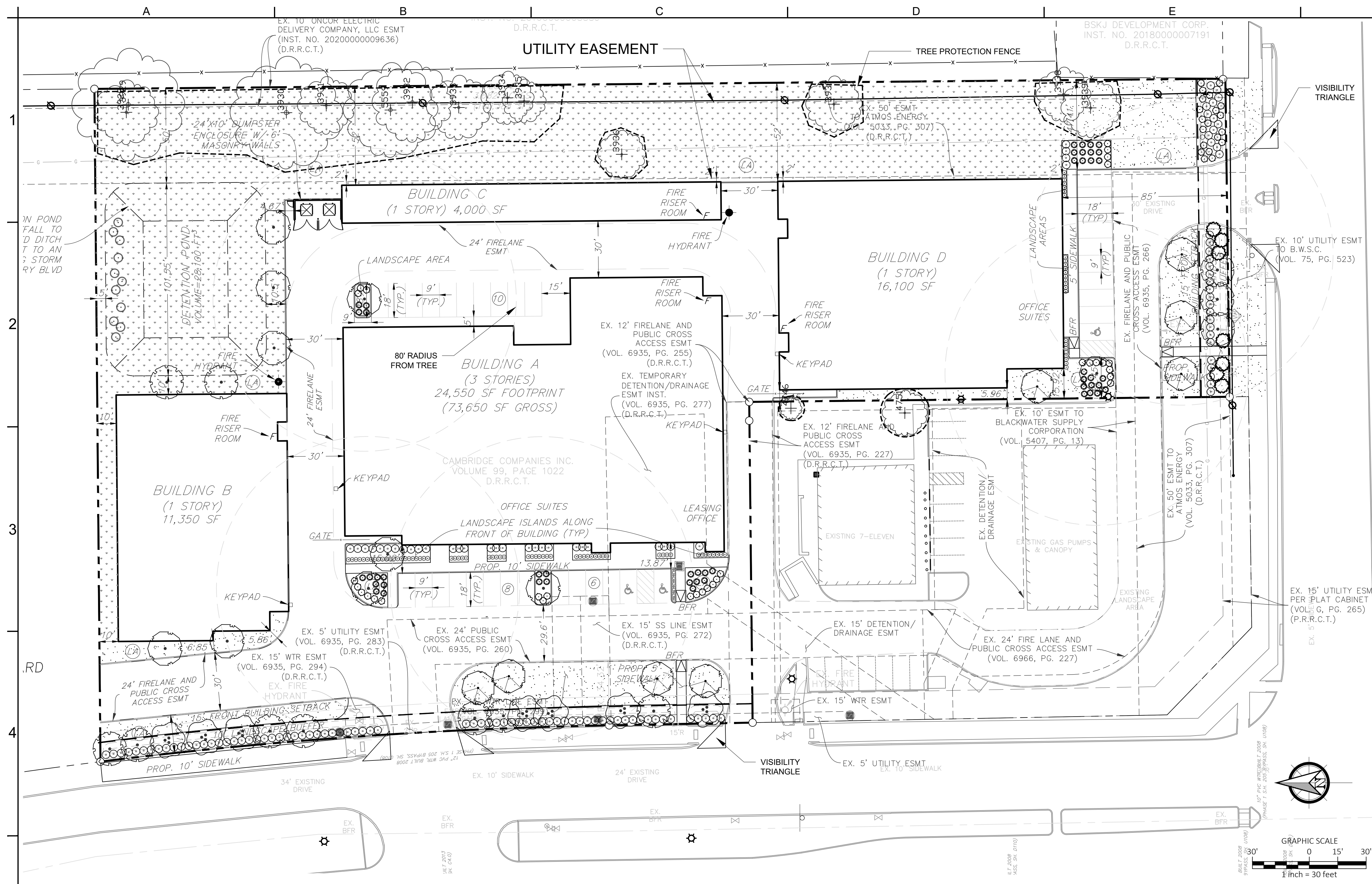


2



1

<p>APPLICANT INFORMATION APPLICANT: BOB PRUETT CONTACT PERSON: URBAN STRUCTURE ADDRESS: 8140 WALNUT HILL LANE, SUITE 905 DALLAS, TEXAS 75231 EMAIL: BPRUETT@URBANSTRUCT.COM PHONE: 214.295.5347</p>
<p>OWNER INFORMATION OWNER: CAMBRIDGE PROPERTIES INC. CONTACT PERSON: GARRETT POINDEXTER ADDRESS: 8750 N. CENTRAL EXP., SUITE 1735 DALLAS, TEXAS 75231 EMAIL: RJONES@ADVANTAGESTORAGE.NET PHONE: 972.832.8933</p>
<p>PROJECT INFORMATION NAME: ADVANTAGE STORAGE ADDRESS: 1701 STATE HIGHWAY 276 ROCKWALL, TEXAS 75032 CASE #:</p>



EVERGREEN DESIGN GROUP
 (800) 680-6630
 15455 Dallas Pkwy, Ste 600
 Addison, TX 75001
 www.EvergreenDesignGroup.com

VICINITY MAP
(NOT TO SCALE)

PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	8	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY MAPLE	4" CAL	14'-16" HT
	12	QUERCUS MUHLENBERGIA CHINQUAPIN OAK	4" CAL	14'-16" HT
	10	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL	16'-18" HT
*ALL CANOPY TREES TO BE USED FOR MITIGATION				
ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	7	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS	3" CAL 1" / STEM	4'-6" HT
	7	ILEX DECIDUA POSSUM HAW 3-5 STEMS	3" CAL 1" / STEM	4'-6" HT
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	47	HESPERALOE PARVIFLORA RED YUCCA	3 GAL	
	135	ILEX CORNUTA 'BURFORDII NANA' DWARF BURFORD HOLLY	5 GAL	
	51	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	3 GAL	
	11	MUHLENBERGIA RIGENS DEER GRASS	3 GAL	
GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT	
	85	RUPELLIA BRITTONIANA 'KATIE' KATIE'S DWARF PETUNIA	1 GAL	
	13,325 SF	CYNODON 'TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD	
	38,885 SF	BLACKLAND PRAIRIE SEED MIX NATIVE AMERICAN SEED (SEEDSOURCE.COM)	HYDROSEED	

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE 'GENERAL GRADING AND PLANTING NOTES' AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE 'CENTURY' OR 'DEEP ROOT' 24" DEEP PANELS (OR EQUAL) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

LANDSCAPE STANDARDS

REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE BUFFER REQ. W/ 1 CANOPY + 1 ACCENT TREE PER 50 LIN. FT. OF FRONTAGE; GROUND COVER, BUILT-UP BERM AND SHRUBBERY ALONG ENTIRE FRONTAGE, 30" HIGH, MIN.
JOHN KING BLVD.: REQUIRED PLANTING: PROVIDED 10' BUFFER:	±344.8' STREET FRONTAGE 7 CANOPY TREES, 7 ACCENT TREES, BERM W/ SHRUBS 7 NEW CANOPY TREES, 7 ACCENT TREES W/ BERM AND SHRUBS (30" HIGH MIN.)
ST. HWY. 276 OVERLAY DISTRICT: ±167.8 STREET FRONTAGE	15' WIDE LANDSCAPE BUFFER W/ GR. COVER, BUILT-UP BERM & SHRUBS (30" MIN.-48" MAX) ALONG ENTIRE LENGTH OF FRONTAGE. 2 CANOPY TREES + 4 ACCENT TREES PER 100 LIN. FEET OF FRONTAGE 3 CANOPY TREES, 7 ACCENT TREES, BERM W/ SHRUBS 3 NEW CANOPY TREES, 7 ACCENT TREES W/ BERM AND SHRUBS (30" HI MIN.-48" MAX.)
EAST PROPERTY LINE BUFFER: NORTH PROPERTY LINE BUFFER:	NOT REQUIRED. PROPERTY ZONED PD-10 NOT REQUIRED. PROPERTY ZONED LIGHT INDUSTRIAL
05.02 LANDSCAPE SCREENING REQ. HEADLIGHT SCREENING	NOT APPLICABLE
SCREENING FROM RESIDENTIAL	NOT APPLICABLE

05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT

TOTAL SITE AREA:	±160,353 SF
LANDSCAPE AREA REQUIRED TOTAL SITE:	32,071 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE:	±58,742 SF (36.6%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	±40,718 SF (69%)
MIN. SIZE OF AREAS:	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASIN (XERISCAPE OPTION):	MIN. (1) SHRUB/ORNAMENTAL GRASS PER 750 SF OF DRY LAND AREA
PROPOSED DETENTION BASIN LANDSCAPING:	5,649 / 750 = 8 SHRUBS + NATIVE GRASSES
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
PROPOSED PARKING AREA: REQ. PARKING LOT LANDSCAPING:	±29,004 SF ±1,450 SF (29,004 x 5%) AND (1) LG. CANOPY TREE FOR EVERY 10 PARKING SPACES INTERNAL TO PARKING AREAS (PARKING AREA OVER 20,000 SF) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK
PROPOSED PARKING LOT LANDSCAPING: TREES PROVIDED:	±1,528 SF (5%) 34 PARKING SPACES / 10 = 3 TREES 5 CANOPY TREES

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDING AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED TO THE MAXIMUM EXTENT POSSIBLE TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE); RAIN SENSORS; AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
- ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

TREE MITIGATION SUMMARY

TOTAL MITIGATION REQUIRED:	119.75"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (30) TO BE PLANTED ONSITE:	120.0"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL):	0"
TOTAL MITIGATION PROVIDED:	120.0"



APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____
 WITNESS OUR HANDS, THIS _____ DAY OF _____
 PLANNING & ZONING COMMISSION, CHAIRMAN
 DIRECTOR OF PLANNING AND ZONING

SITE DATA TABLE

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TEL: 214-295-8775
 www.urbanstructure.com
URBAN STRUCTURE
 8340 Walnut Hill Lane, Suite 905
 Dallas, Texas 75231
 PmRegistration#F2252

REGISTERED LANDSCAPE ARCHITECT
 DARYL R. BRANDON
 3423
 STATE OF TEXAS
 08/19/2022

ADVANTAGE STORAGE
 1701 STATE HIGHWAY 276
 OUT OF THE JAMES M. ALLEN SURVEY, ABSTRACT NO. 2
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

LANDSCAPE PLANTING PLAN

PROJECT: 07/14/2022
 CLIENT: ADVANTAGE STORAGE
 DRAWN BY: LL
 DESIGNER: LL
 REVIEWER: BP
 U.S. PROJECT: 2257

SHEET
LP-1

PLANTING SPECIFICATIONS

GENERAL

A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR

- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
- A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION PURPOSES.
- THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.

B. SCOPE OF WORK

WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.

THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

A. ALL MANUFACTURED PRODUCTS SHALL BE NEW

- CONTAINER AND BALLED-AND-BURLAPPED PLANTS.
- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHEPARED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
- ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCODING DISEASES AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
- TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
- ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE OWNER'S EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
- ALL TREES SHALL BE STANDARD IN FORM UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
- MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED. THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
- ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.

C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLETT OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.

D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 3/4" INCH, FOREIGN MATTER, PLANTS, ROOTS, AND OTHER UNDESIRABLES.

E. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, PH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 15 TO 10 DECISIEMENS/CM, NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.

F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).

G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.

H. TREE STAKING AND GUYING

- STAKES: 6' LONG GREEN METAL T-POSTS.
- GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
- STRAP CHAFING GUARD, REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.

I. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUIVALENT.

J. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAKING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE USED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

A. SOIL PREPARATION

- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
- SOIL TESTING
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
 - THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A MAINTENANCE FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
- THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
- FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING.
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - PRE-PLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
 - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE.
 - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING.
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - CLAY BUSTER OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE.
 - IRON SULPHATE - 2 LBS. PER CU. YD.

B. FINISH GRADE

- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
- THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
- ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.

C. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

B. SUBMITTALS

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTING MATERIALS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
- SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND ANCHORS, AND LANDSCAPE FABRICS (IF ANY).
- WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.

C. GENERAL PLANTING

- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
- EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
- TRENCHING NEAR EXISTING TREES
 - CONTRACTOR SHALL NOT DISTURB ROOTS 1'-12" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1'-12" AND LARGER IN DIAMETER, WHERE TREE ROOTS 1'-12" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS, WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

D. TREE PLANTING

- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
- FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, REMOVE AN OVERLAP LAYER OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
- INSTALL A HOLE OR UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
- BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER FOREIGN MATTER SHALL BE REMOVED FROM THE SOIL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORTED ADDITIONAL TOPSOIL, FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF EQUAL OR BETTER QUALITY THAN THE ON-SITE SOIL.
- TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) SHALL BE TO THE FULFILLMENT OF THE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - 1"-2" TREES: TWO STAKES PER TREE
 - 2'-12"-4" TREES: THREE STAKES PER TREE
 - TREES OVER 4" CALIPER: GUY AS NEEDED
 - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
- UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).

E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING

- DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
- INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
- WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

F. SODDING

- SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
- LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
- LAY THE SOD TO FORM A SOLID MASS WITH A TIGHTLY FITTED JOINT. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
- ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
- WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

G. MULCH

- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
- DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

H. CLEAN UP

- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
- DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

I. INSPECTION AND ACCEPTANCE

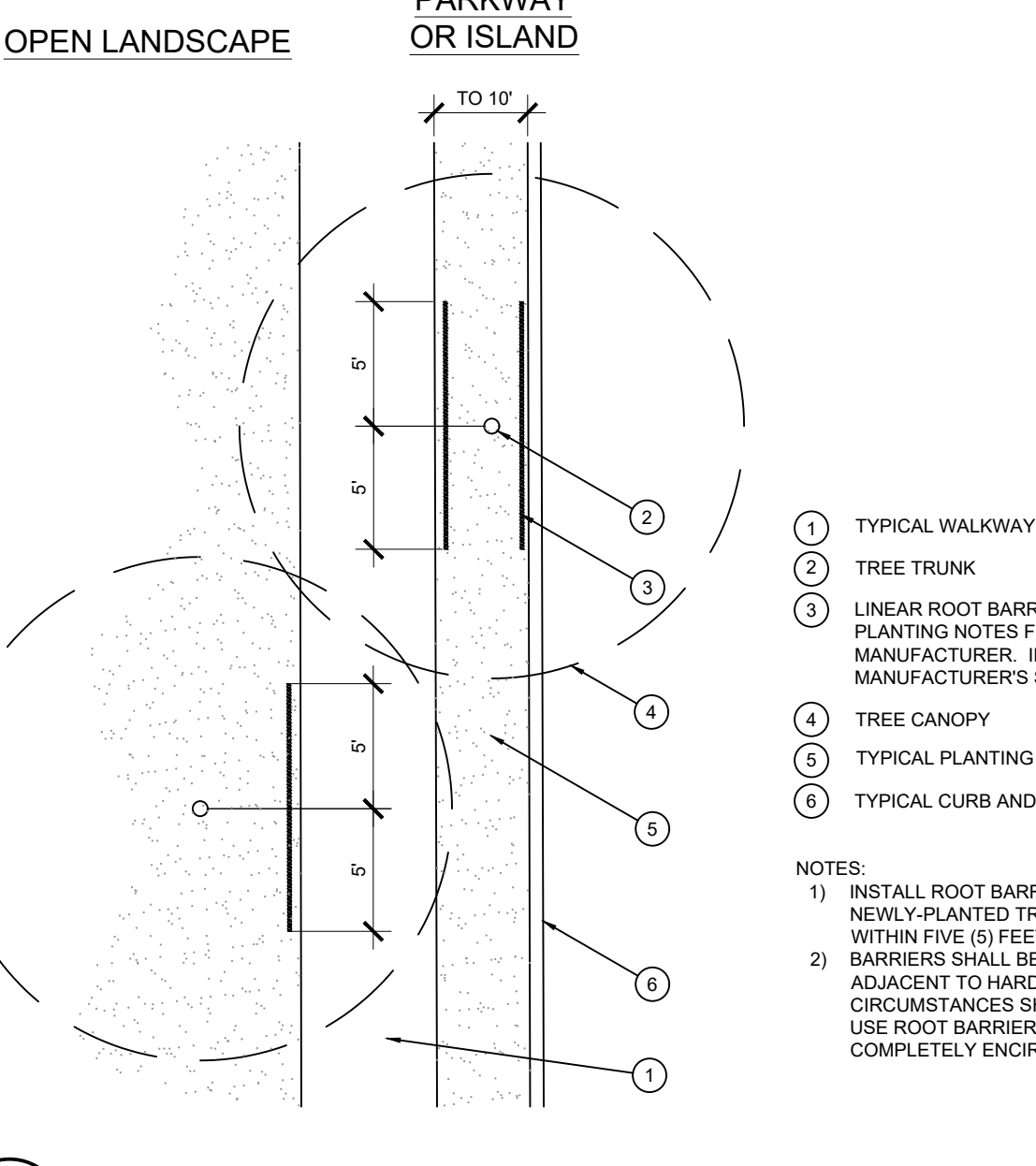
- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
- WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
- THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

J. LANDSCAPE MAINTENANCE

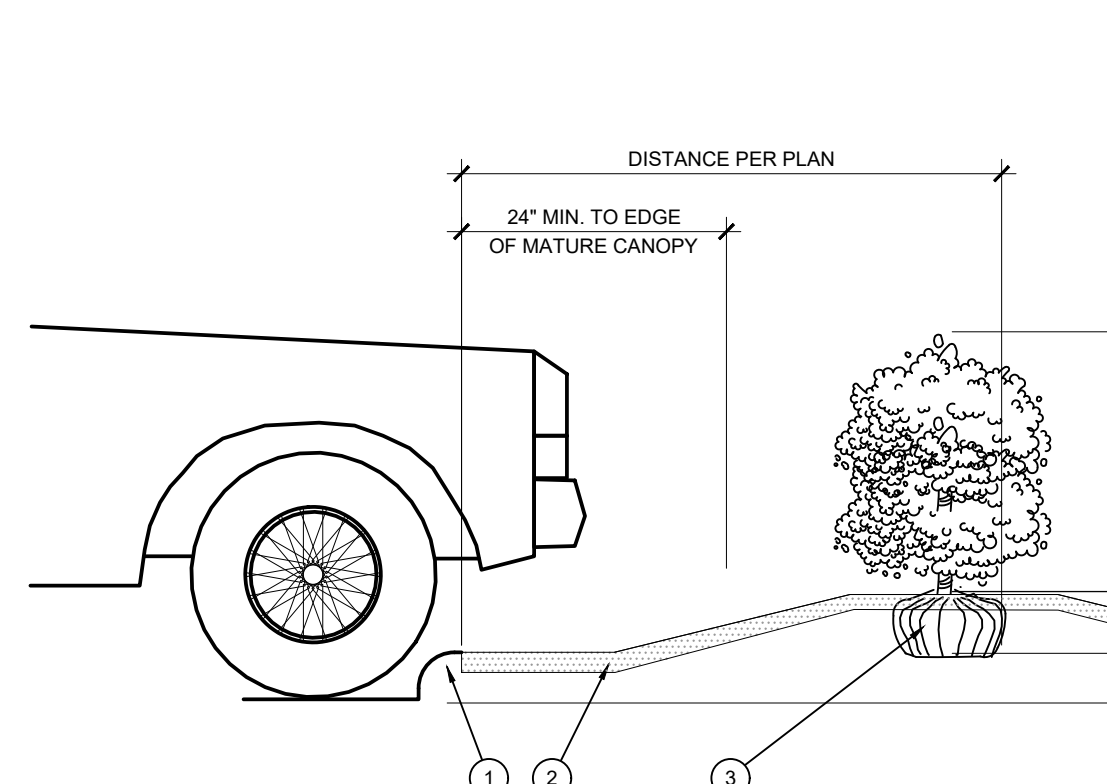
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKSMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDING AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HARDSCAPE SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
 - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED AS APPROPRIATE PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS

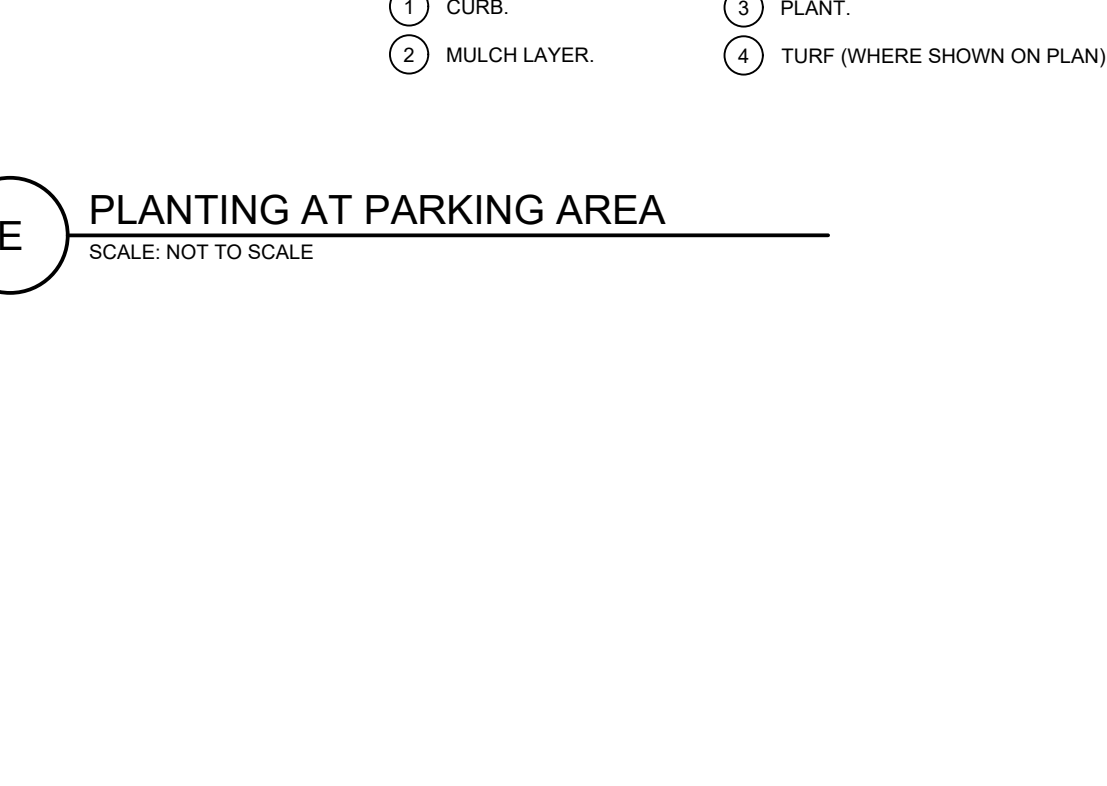
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTINGS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
- PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



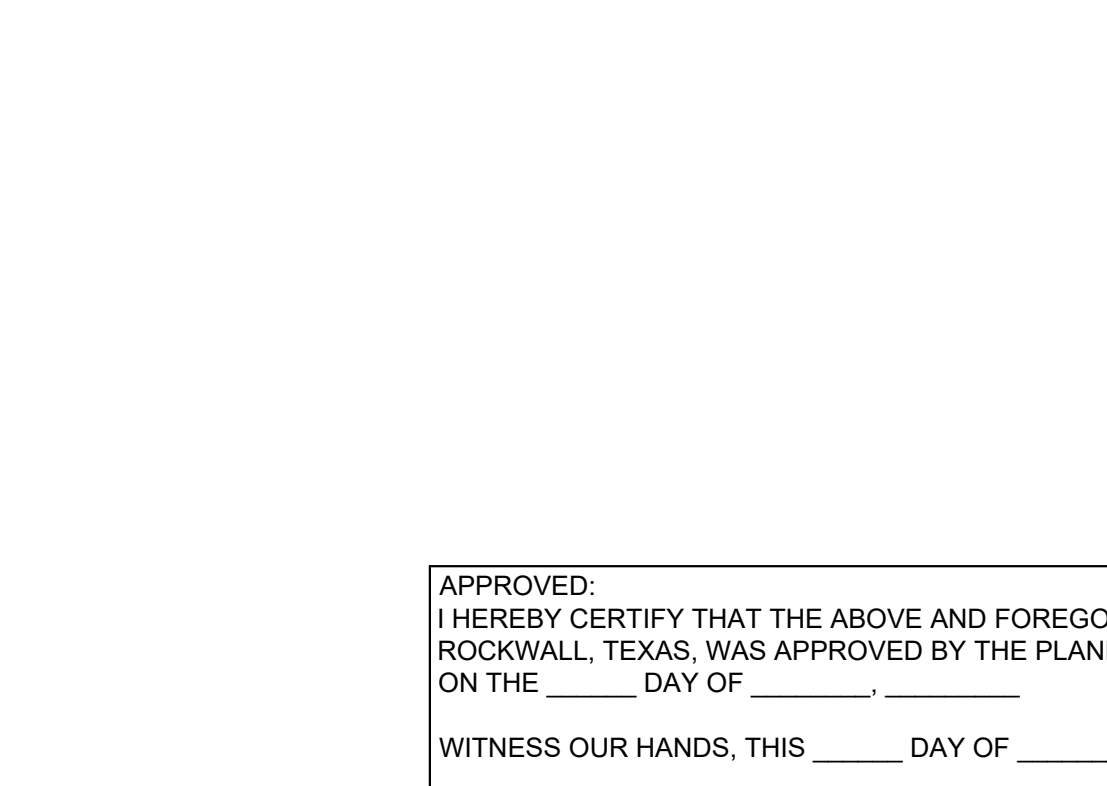
D ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE



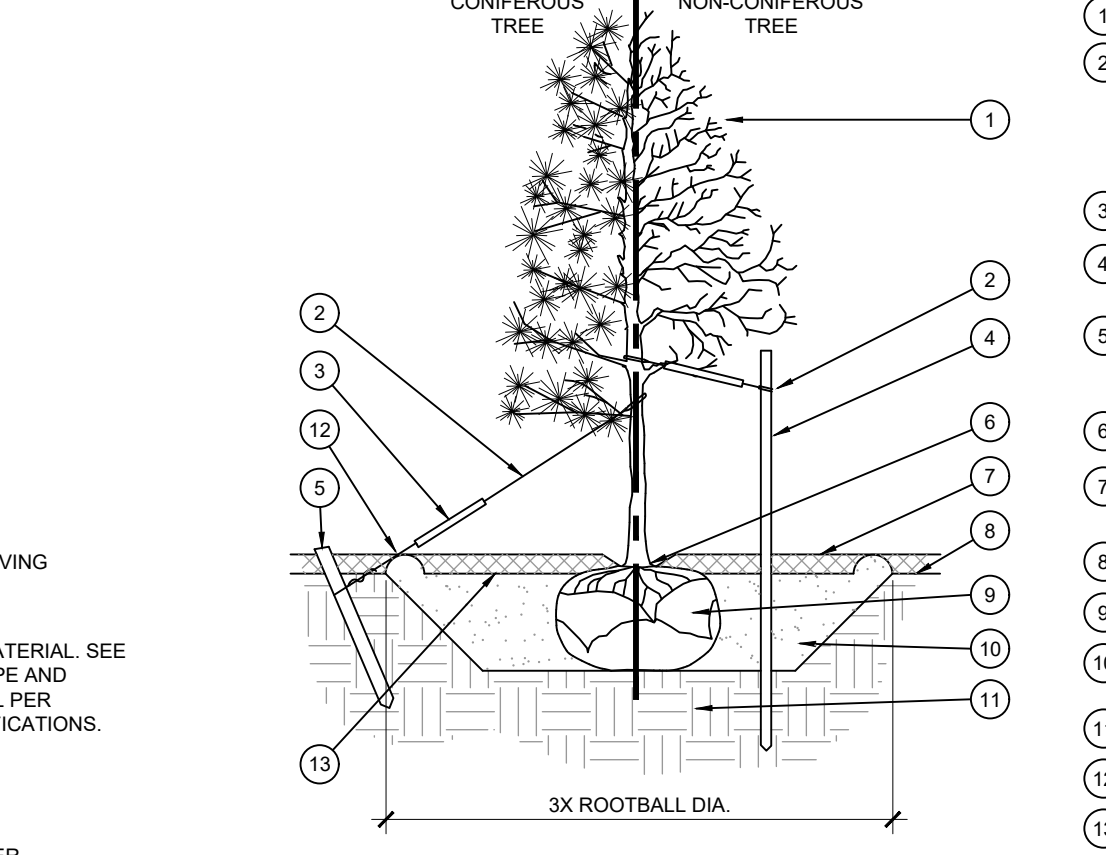
E PLANTING AT PARKING AREA
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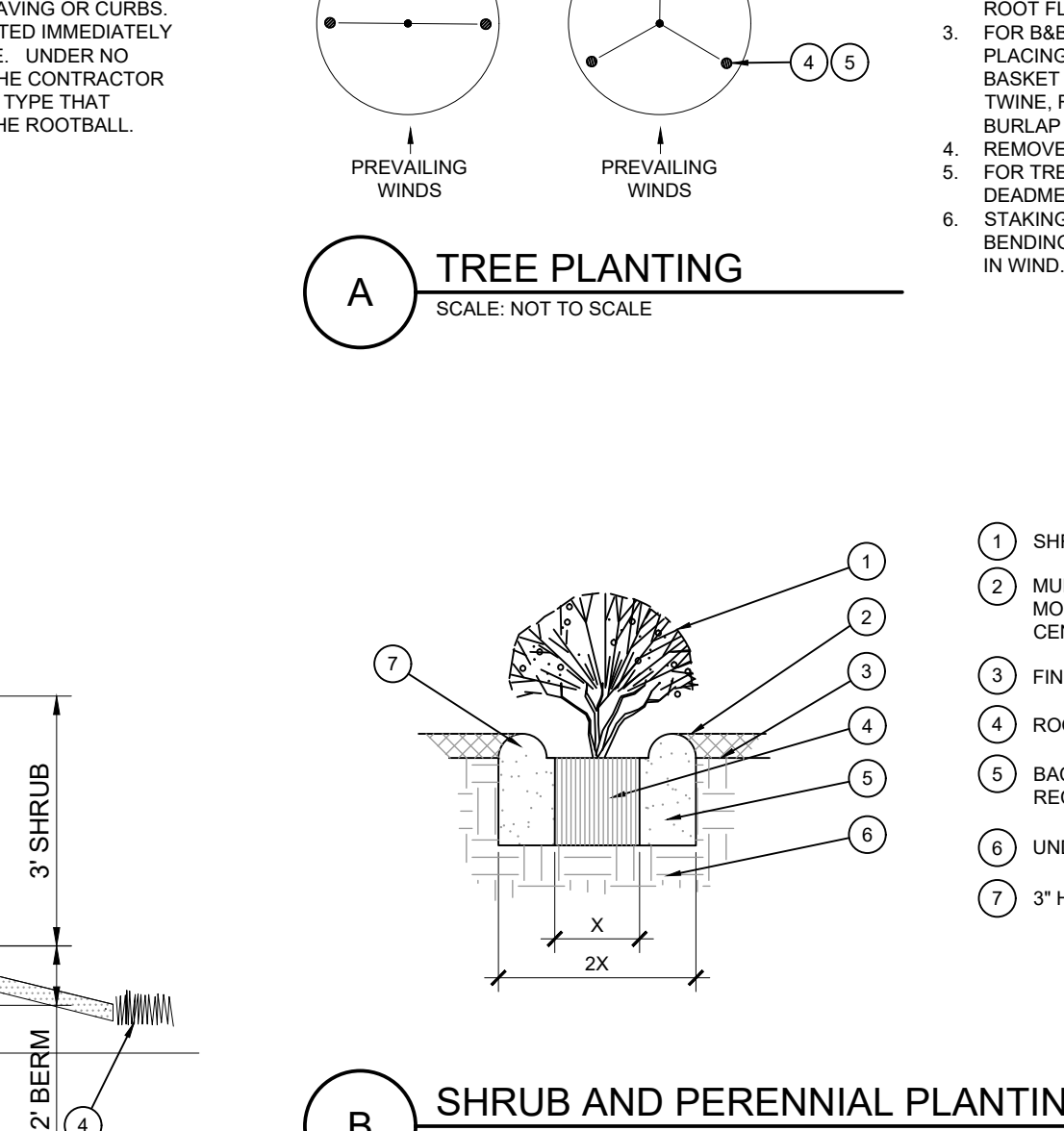
F SHRUB AND PERENNIAL PLANTING
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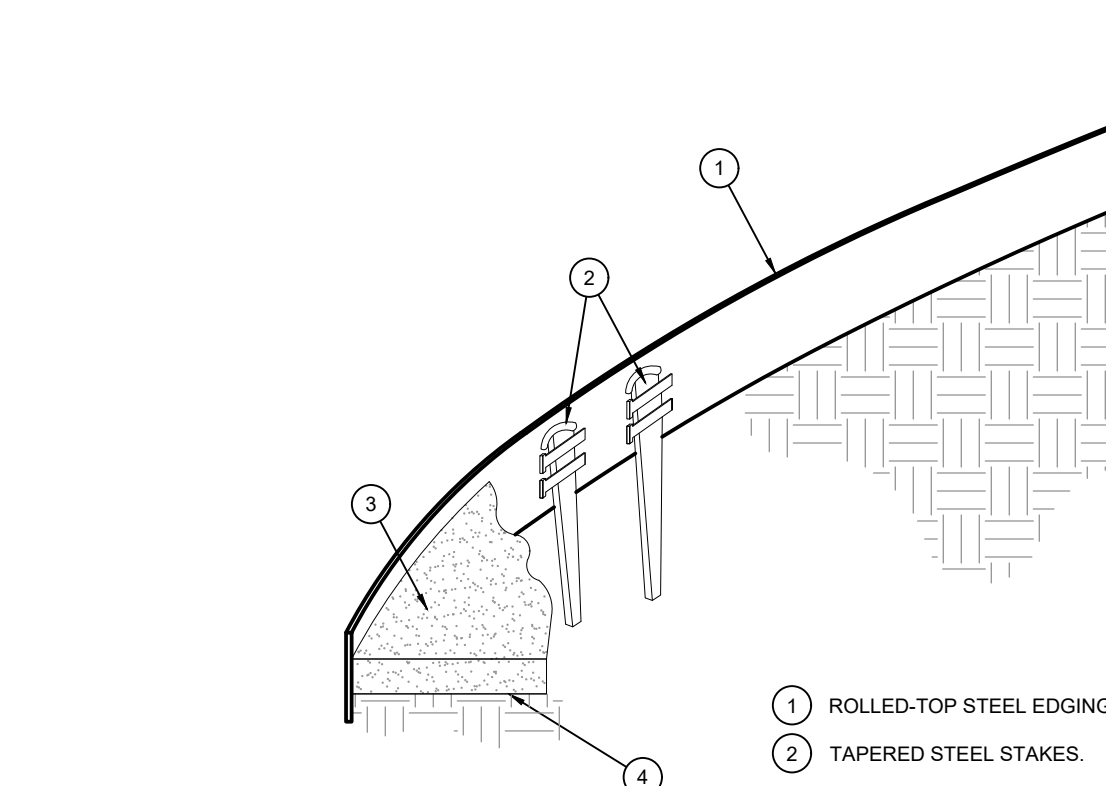
G STEEL EDGING
SCALE: NOT TO SCALE



A TREE PLANTING
SCALE: NOT TO SCALE



B SHRUB AND PERENNIAL PLANTING
SCALE: NOT TO SCALE



C STEEL EDGING
SCALE: NOT TO SCALE

GREEN DESIGN GROUP
800.680.6630
www.GreenDesignGroup.com

NOTES:

- SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
- REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2'-4" ABOVE FINISH GRADE.
- FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
- REMOVE ALL NURSERY STAKES AFTER PLANTING.
- FOR TREES 18" OR LARGER, USE THREE STAKES OR DEADEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
- STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BEING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

NOTES:

- SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
- MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
- FINISH GRADE.
- ROOT BALL.
- BACKFILL, AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- UNDISTURBED NATIVE SOIL.
- 3" HIGH EARTHEN WATERING BASIN.

NOTES:

- ROLLED-TOP STEEL EDGING PER PLANS.
- TAPERED STEEL STAKES.
- MULCH, TYPE AND DEPTH PER PLANS.
- FINISH GRADE.

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____.

PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____

NO.	DATE	REVISION

URBAN STRUCTURE
8840 Walnut Hill Lane, Suite 905
Dallas, Texas 75231
Firm Registration # 22252

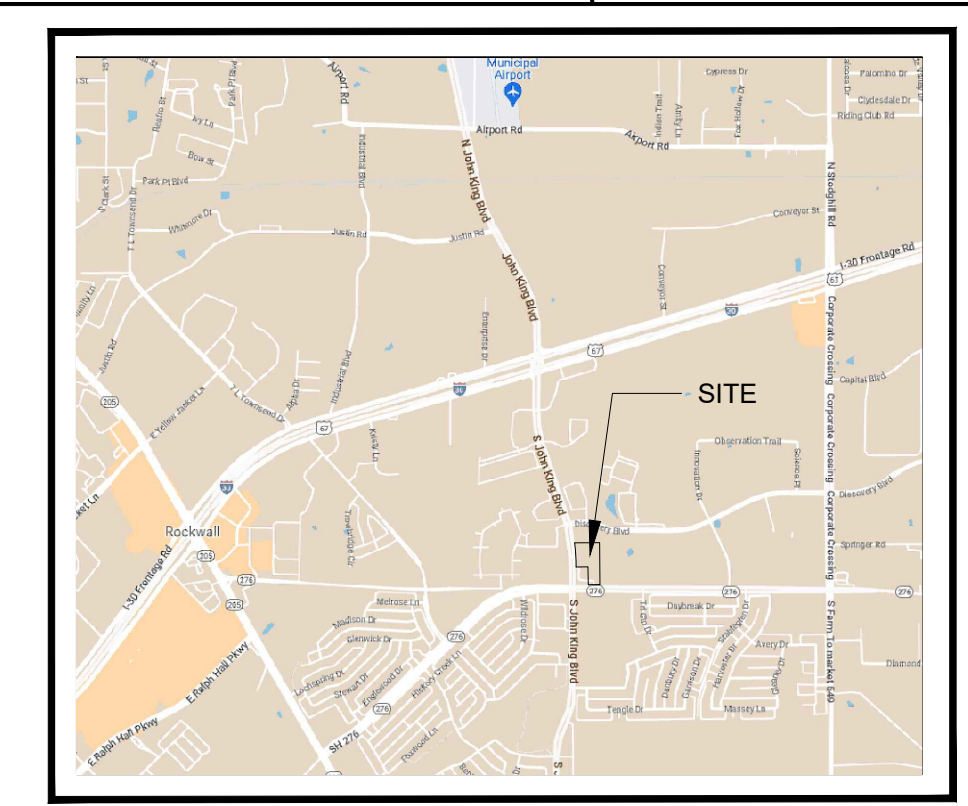
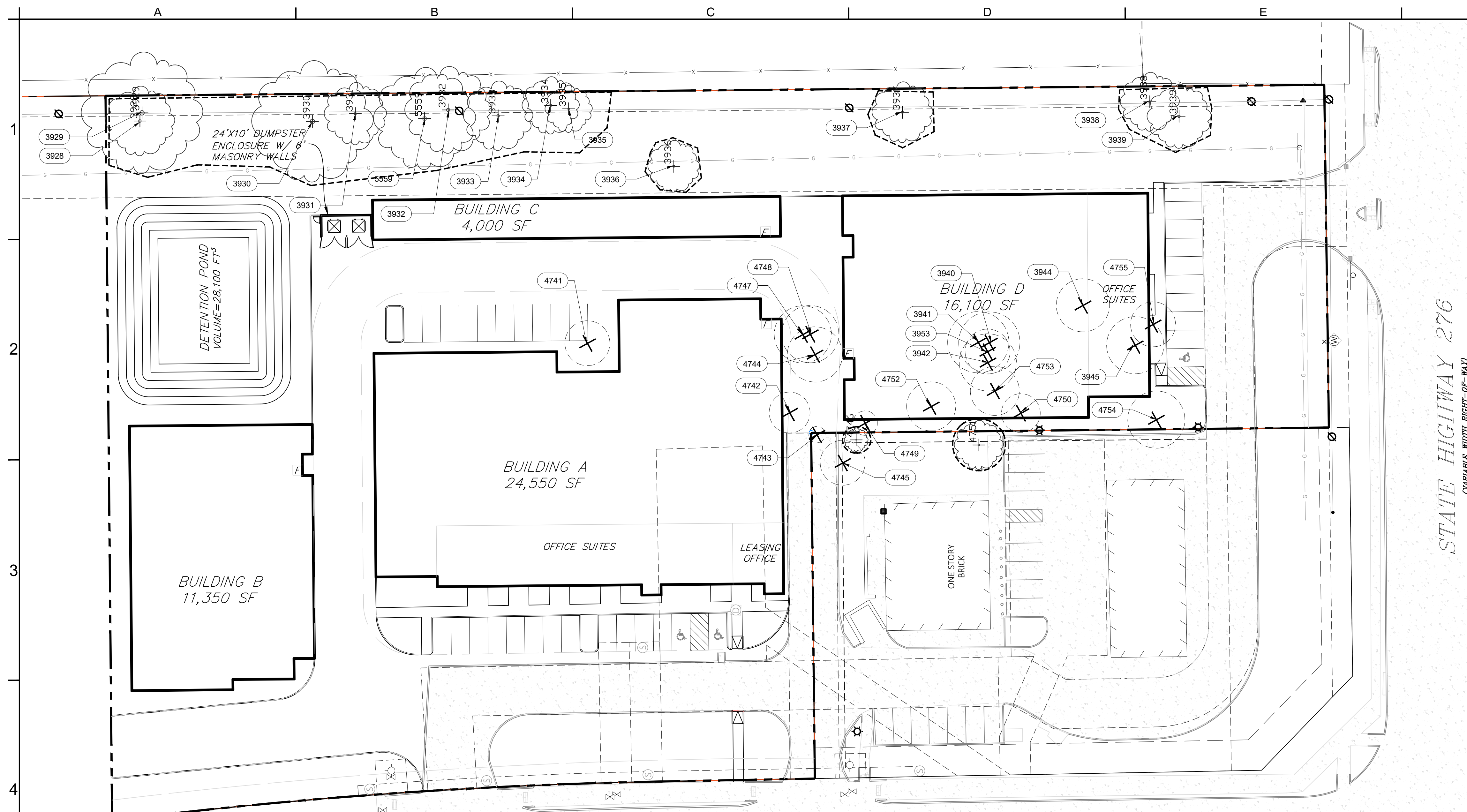


ADVANTAGE STORAGE
1701 STATE HIGHWAY 276
OUT OF THE JAMES M. ALLEN SURVEY, ABSTRACT NO. 2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

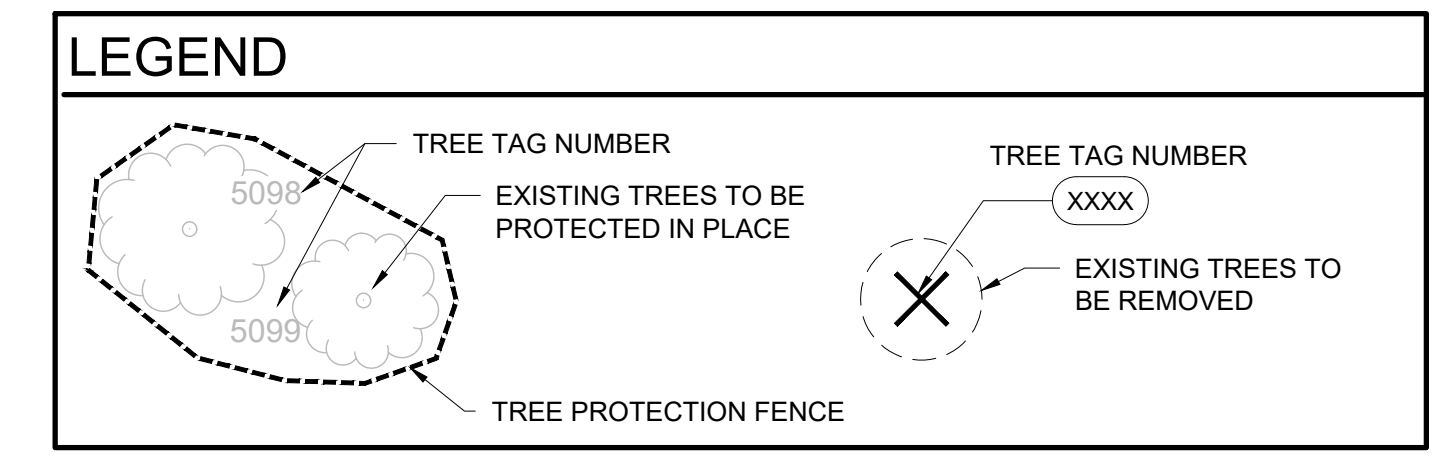
PLANTING DETAILS & SPECS

PREPARED ON:	07/14/2022
CLIENT:	ADVANTAGE STORAGE
DRAWN BY:	LL
DESIGNED BY:	LL
REVIEWER:	BP
U.S. PROJECT:	22077
SHEET TITLE:	

SHEET LP-2



VICINITY MAP
(NOT TO SCALE)



NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.

SEE SHEET LP-1 FOR PROPOSED REPLACEMENT TREES FOR MITIGATION.

TREE SURVEY

TAG#	SPECIES	DBH (INCHES)	FEATURE TREE PRESERVE	FUTURE TREE REMOVE 1:2 MITIGATION	PRIMARY PROTECTED PRESERVE	PRIMARY PROTECTED REMOVE 1:1 MITIGATION	SECONDARY PROTECTED PRESERVE	SECONDARY PROTECTED REMOVE 0.5:1 MITIGATION	NON-PROTECTED	NOTES
3928	HACKBERRY CELTIS OCCIDENTALIS	16					16			DAMAGED TREE
3929	HACKBERRY CELTIS OCCIDENTALIS	29	29							POISONOUS VINES ROT
3930	HACKBERRY CELTIS OCCIDENTALIS	28	28							ROT HAZARD
3931	HACKBERRY CELTIS OCCIDENTALIS	14					14			POISONOUS VINES
3932	HACKBERRY CELTIS OCCIDENTALIS	20					20			DAMAGED TREE
3933	HACKBERRY CELTIS OCCIDENTALIS	16					16			CAVITIES
3934	HACKBERRY CELTIS OCCIDENTALIS	13					13			IRREGULAR CANOPY
3935	HACKBERRY CELTIS OCCIDENTALIS	18					18			
3936	HACKBERRY CELTIS OCCIDENTALIS	12					12			HAZARD ROT
3937	HACKBERRY CELTIS OCCIDENTALIS	14					14			ROT AT BASE
3938	HACKBERRY CELTIS OCCIDENTALIS	14					14			FENCELINE
3939	HACKBERRY CELTIS OCCIDENTALIS	15					15			ROT
3940	HACKBERRY CELTIS OCCIDENTALIS	15					15			IRREGULAR CANOPY
3941	HACKBERRY CELTIS OCCIDENTALIS	15					15			CROWDED
3942	HACKBERRY CELTIS OCCIDENTALIS	14					14			IRREGULAR CANOPY
3944	HACKBERRY CELTIS OCCIDENTALIS	13					13			DECLINE
3945	HACKBERRY CELTIS OCCIDENTALIS	14					14			LEANING POISONOUS VINES
3953	HACKBERRY CELTIS OCCIDENTALIS	11					11			POISONOUS VINES IRREGULAR CANOPY
3953	HACKBERRY CELTIS OCCIDENTALIS	18					18			HAZARD ROT
4740	EASTERN RED CEDAR JUNIPEROUS VIRGINIANA	11					11			
4741	EASTERN RED CEDAR JUNIPEROUS VIRGINIANA	11					11			IRREGULAR CANOPY
4742	PEAR PYRUS CALLERYANA	10					10			IRREGULAR CANOPY TRUNK DECAY
4743	HERCULES CLUB ZANTHOXYLUM CLAVAHERCULIS	4					4			
4744	EASTERN RED CEDAR JUNIPEROUS VIRGINIANA	13.5					13.5			
4745	HACKBERRY CELTIS OCCIDENTALIS	11					11			
4747	EASTERN RED CEDAR JUNIPEROUS VIRGINIANA	14					14			POISONOUS VINES
4748	EASTERN RED CEDAR JUNIPEROUS VIRGINIANA	14					14			IRREGULAR CANOPY POISONOUS VINES
4749	HONEY LOCUST	6					6			NON-PROTECTED TREE
4750	HONEY LOCUST	9.5					9.5			NON-PROTECTED TREE
4752	HONEY LOCUST	12					12			NON-PROTECTED TREE
4753	HACKBERRY CELTIS OCCIDENTALIS	12					12			BRIAR VINES
4754	HACKBERRY CELTIS OCCIDENTALIS	14					14			
4755	HACKBERRY CELTIS OCCIDENTALIS	11					11			IRREGULAR CANOPY POISONOUS VINES
5559	HACKBERRY CELTIS OCCIDENTALIS	24					24			ROT CAVITIES STINGING INSECTS
TOTALS		486	57	0	0	14	176	211.5	27.5	
1:2 MITIGATION										
1:1 MITIGATION						14				
0.5:1 MITIGATION								105.75		
TOTAL MITIGATION (INCHES)								119.75		



TREE MITIGATION SUMMARY

TOTAL MITIGATION REQUIRED:	119.75"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (30) TO BE PLANTED ONSITE:	120.0"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL):	0"
TOTAL MITIGATION PROVIDED:	120.0"

TREE SURVEY (CONT.)

TAG#	SPECIES	DBH	COMMENTS
4746	HONEY LOCUST	5.5	OFF SITE, TO REMAIN
4751	HACKBERRY CELTIS OCCIDENTALIS	11	OFF SITE, TO REMAIN

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ DAY OF ____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

SITE DATA TABLE

EXISTING USE:	VACANT
PROPOSED USE:	MINI-WAREHOUSE & OFFICE SUITES
EXISTING ZONING DISTRICT:	PLANNED DEVELOPMENT (PD-10)
SITE AREA (LOT 2):	3.682 AC (160,388 SF)
SITE AREA (LOT 3):	2.565 AC (111,719 SF)
TOTAL SITE AREA:	6.247 AC (272,107 SF)
FOR LOT 2 ONLY	
BUILDING AREA:	MINI-WAREHOUSE OFFICE SUITES
BUILDING A (3 STORIES):	69,250 SF 4,400 SF
BUILDING B (1 STORY):	11,350 SF 0 SF
BUILDING C (1 STORY):	4,000 SF 0 SF
BUILDING D (1 STORY):	13,100 SF 3,000 SF
TOTAL BUILDING AREA:	105,100 SF
TOTAL BUILDING FOOTPRINT AREA:	56,000 SF
TOTAL STORAGE UNITS:	635 UNITS
	REQUIRED PROVIDED
MAXIMUM LOT COVERAGE:	96,233 SF (60%) 56,000 SF (35%)
FLOOR TO AREA RATIO:	4.1 0.66:1
MAXIMUM BUILDING HEIGHT:	60 FT 42 FT
LANDSCAPE AREA:	32,078 SF (20%) 58,982 SF (36.8%)
	MINI-WAREHOUSE OFFICE SUITES
PARKING REQUIRED:	9 STALLS 25 STALLS
	(3 STALLS + 1/100 UNITS) (1/300 SF)
TOTAL PARKING REQUIRED:	34 STALLS
TOTAL PARKING PROVIDED:	34 STALLS

NOTE: PD-10 REQUIRES COMMERCIAL (C) ZONING STANDARDS TO BE FOLLOWED FOR A NON-RESIDENTIAL DEVELOPMENT.

REVISION

NO. DATE

TEL: 214-295-5775

www.urbanstructure.com

URBAN STRUCTURE

8140 Walnut Hill Lane, Suite 905
Dallas, Texas 75231
Firm Registration #F-2252

REGISTERED LANDSCAPE ARCHITECT
STATE OF TEXAS
3423

08/19/2022

ADVANTAGE STORAGE
1701 STATE HIGHWAY 276
OUT OF THE JAMES M. ALLEN SURVEY, ABSTRACT NO. 2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

TREESCPE PLAN

PROJECT: 07/19/2022

CLIENT: ADVANTAGE STORAGE

DRAWN BY: LL

DESIGNER: LL

REVIEWER: BP

U.S. PROJECT: 22577

SHEET TITLE:

SHEET TD-1

TREE PROTECTION SPECIFICATIONS

MATERIALS

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL "T" SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- THE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
 - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
 - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
 - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
 - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
 - DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
 - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

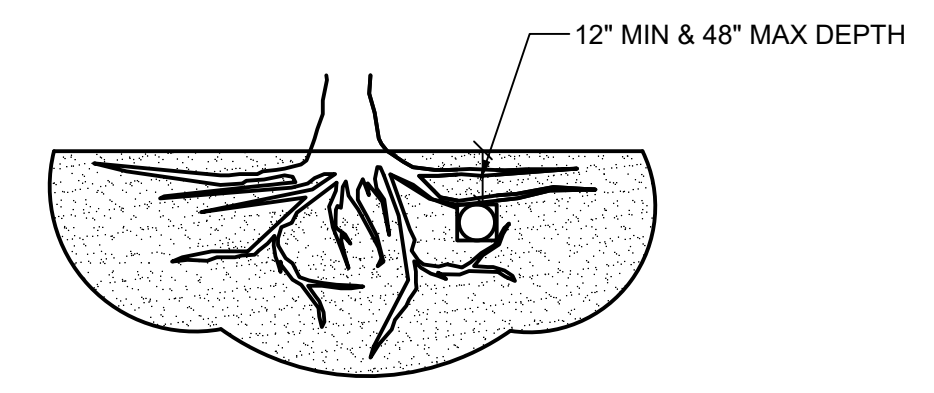
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

TREE PROTECTION GENERAL NOTES

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

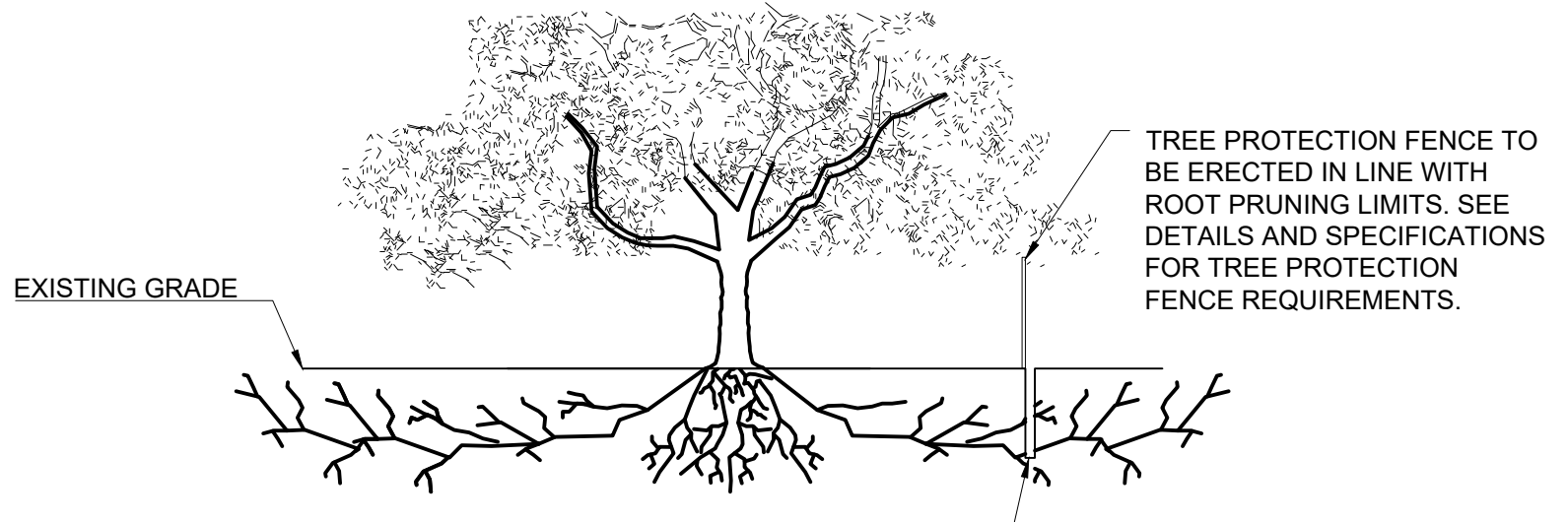
TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



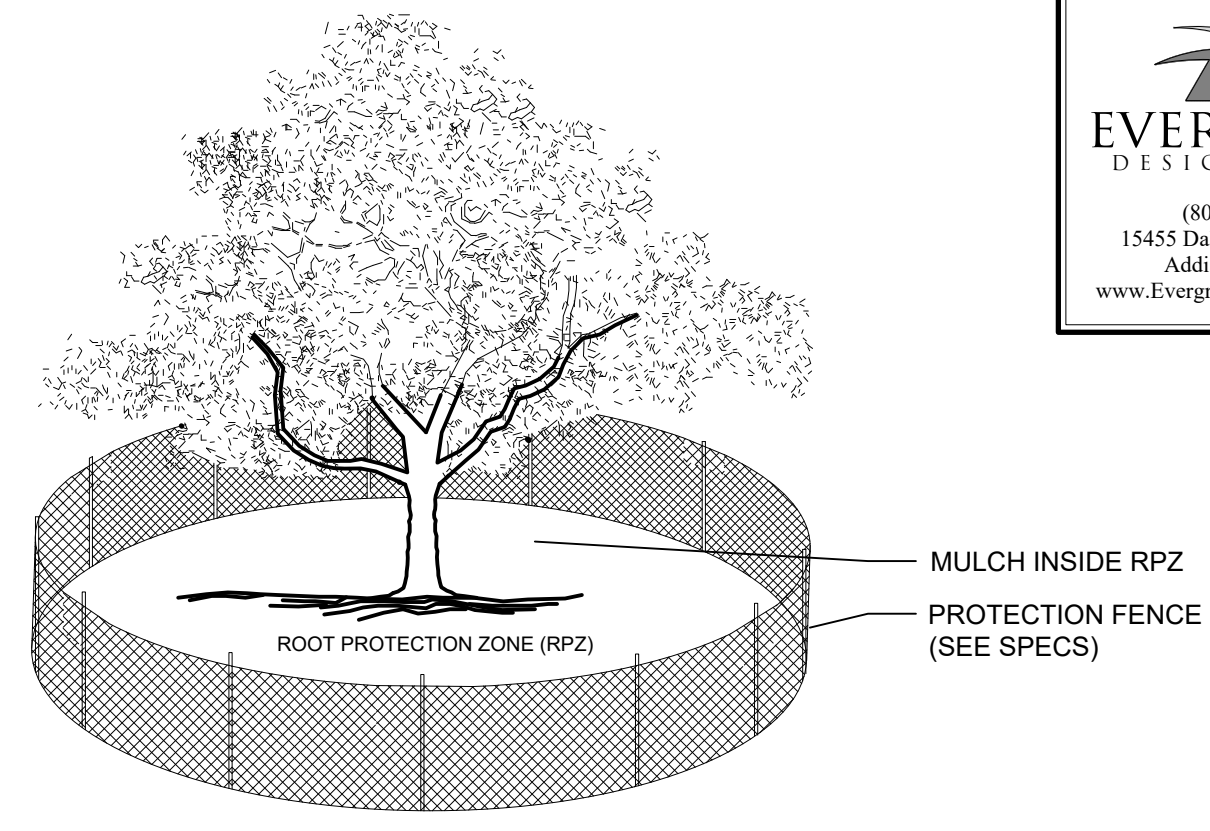
C BORING THROUGH ROOT PROTECTION ZONE
SCALE: NOT TO SCALE

NOTES

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
- EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
- ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
- ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.

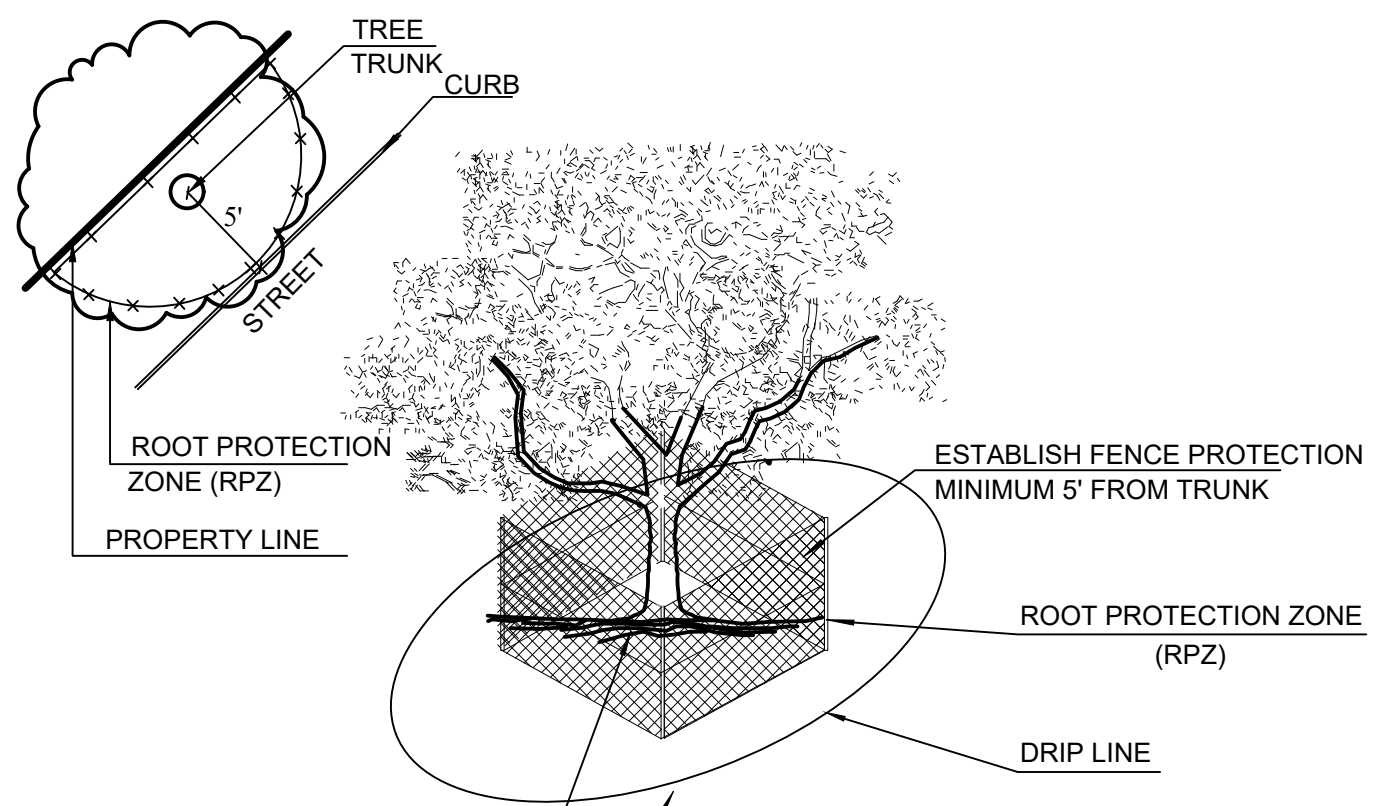


D ROOT PRUNING DETAIL
SCALE: NOT TO SCALE



- NOTES:**
- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

A TREE PROTECTION FENCE
SCALE: NOT TO SCALE



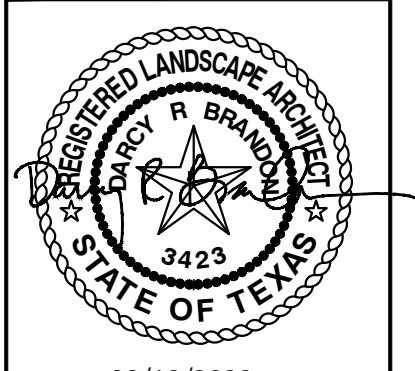
- NOTES:**
- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
 - FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

B TREE PROTECTION FENCE - TIGHT CONSTRUCTION
SCALE: NOT TO SCALE



NO.	DATE	REVISION

TEL: 214-295-8775
www.urbanstructure.com
URBAN STRUCTURE
8700 Walnut Hill Lane, Suite 905
Dallas, Texas 75231
Perrin Registration #F-2252



08/19/2022

ADVANTAGE STORAGE
1701 STATE HIGHWAY 276
OUT OF THE JAMES M. ALLEN SURVEY, ABSTRACT NO. 2
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

TREESCPE DETAILS & SPECS

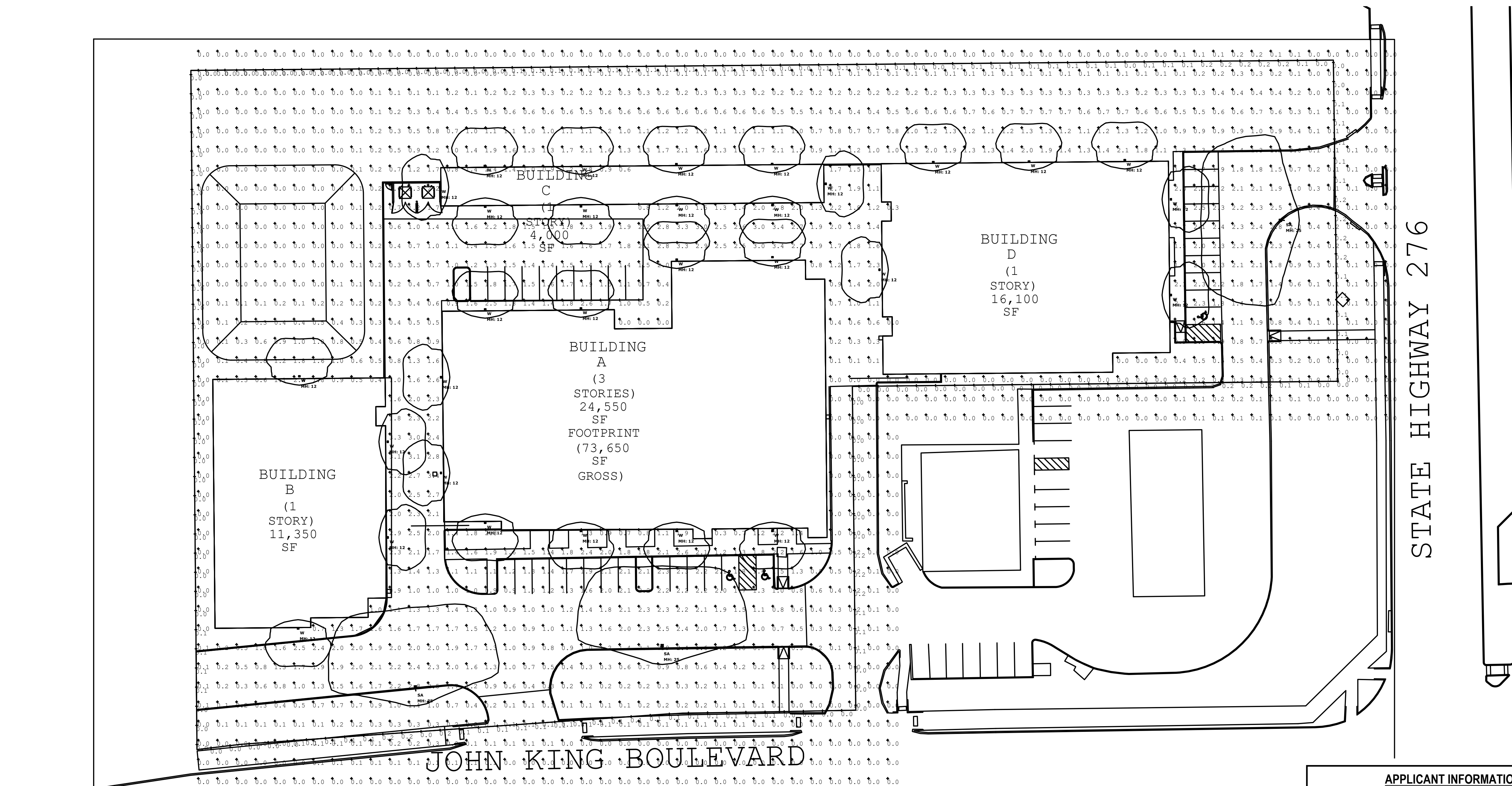
PREPARED ON: 07/14/2022	CLIENT: ADVANTAGE STORAGE	DRAWN BY: LL	DESIGNER: LL	REVIEWER: BP	U.S. PROJECT: 22677
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SHEET
TD-2

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ DAY OF ____.

PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____



Luminaire Schedule	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Loss Factor	User Defined Factor
SA	3	LITHONIA DSK1 LED P5 40K T4M MVOLT HS MOUNT DBBXD DM18AS 2'S POLE	12460	138	1.000	0.850	1.000
W	30	LITHONIA WDGZ LED P5 40K BOCI T4M MOUNT FINISH	3147	32,1375	1.000	0.850	1.000

Calculation Summary	Calc. Height (ft.)	Units	Avg	Max	Min	Avg/Min
PROPERTY LINE	N/A	Fc	0.06	0.2	0.0	N/A
PARKING ABC & DRIVEWAY		Fc	1.46	3.4	0.0	N/A
PARKING D & DRIVEWAY		Fc	1.48	2.8	0.1	14.80

PARKING ABC & DRIVEWAY
 Illuminance (Fc)
 Average = 1.46
 Maximum = 3.4
 Minimum = 0.0
 Avg/Min Ratio = N/A
 Max/Min Ratio = N/A

PARKING D & DRIVEWAY
 Illuminance (Fc)
 Average = 1.48
 Maximum = 2.8
 Minimum = 0.1
 Avg/Min Ratio = 14.80
 Max/Min Ratio = 28.00

PHOTOMETRIC PLAN
 SCALE: 1/4" = 1'-0"

APPLICANT INFORMATION
 APPLICANT: BOB PRUETT
 CONTACT PERSON: URBAN STRUCTURE
 ADDRESS: 8140 WALNUT HILL LANE, SUITE 905
 DALLAS, TEXAS 75231
 EMAIL: BPRUETT@URBANSTRUCT.COM
 PHONE: 214.295.5347

OWNER INFORMATION
 OWNER: CAMBRIDGE PROPERTIES INC.
 CONTACT PERSON: GARRETT POINDEXTER
 ADDRESS: 8750 N. CENTRAL EXP., SUITE 1735
 DALLAS, TEXAS 75231
 EMAIL: RJONES@ADVANTAGESTORAGE.NET
 PHONE: 972.832.8933

PROJECT INFORMATION
 NAME: ADVANTAGE STORAGE
 ADDRESS: 1701 STATE HIGHWAY 276
 ROCKWALL, TEXAS 75032
 CASE #:

RES Root Engineering Services
 Mechanical, Electrical & Plumbing Systems Consultant
 4215 GROVE AVE. GURNEE, IL 60031
 PHONE: 815-229-0396 FAX: 815-773-1603
 PHONE: 817-250-0903 FAX: 817-774-1503
 PHONE: 940-993-0903 FAX: 940-774-1503
 TEXAS PROFESSIONAL ENGINEERING DESIGN FIRM #12016

NOT FOR REGULATORY
 APPROVAL, PERMITTING,
 PRICING OR
 CONSTRUCTION

ARCHITECT
**DAVID BACA
 STUDIOS**
 100 NORTH TRAVIS STREET
 SUITE #500 SHERMAN, TX 75090
 (903) 893-5800

PROJECT
**ADVANTAGE
 ROCKWALL**
 ADVANTAGE STORAGE
 S. JOHN KING BLVD.
 ROCKWALL, TX 75032

Rev. No.	Description	Date
-	FOR REVIEW	7/7/2019

The Professional seal affixed to this sheet indicates that the named professional has prepared or directed the preparation of the material shown only on this sheet. Other drawings and documents not exhibiting this seal shall not be considered prepared by or the responsibility of the undersigned.
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Drawing Title
PHOTOMETRIC PLAN
 Drawing No.
PM1.0
 Scale
 Dwg By: XX Check By: XX
 Consult Job No. XXXXX

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/26/2022

PROJECT NUMBER: SP2022-045
PROJECT NAME: Site Plan for Alumni Bar & Grill
SITE ADDRESS/LOCATIONS: 906 S GOLIAD ST

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Site Plan for a Restaurant on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	08/26/2022	Needs Review

08/26/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Restaurant on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2022-045) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the General Retail (GR) District standards, the Planned Development District 62 (PD-62) Standards, and the Development Standards of Article 05, that are applicable to the subject property.

M.5 Please provide a physical material sample board as soon as possible. This is required per the submittal requirements for site plan cases within the City of Rockwall. (Subsection 03.04. A, of Article 11)

M.6 Please provide a North Point, Numeric and Graphic Scale, and Vicinity Map to allow for measurements and reference information. (Subsection 03.04. A, of Article 11)

M.7 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

M.8 Site Plan:

1. Please provide the total lot area in acreage and square footage. (Subsection 03.04. B, of Article 11)
2. Please provide the perimeter dimensions of the site. (Subsection 03.04. B, of Article 11)
3. Please indicate the building setbacks. (Subsection 03.04. B, of Article 11)
4. Please label the drive radii and drive widths. For a building under 30-feet the radii must be 20-feet. The drive widths must be a minimum of 24-feet. (Subsection 03.04. B, of Article 11)
5. Please label the fire lanes as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04. B, of Article 11)
6. The parking requirement is 1 per 100 square feet. In this case you need 50 parking spaces not including any patio seating, which is 1 space per 4 seats. Just considering the building you are short 4 spaces. To remedy this, without major site changes, the building could be reduced in size and/or a few spaces might be gained near the dumpster enclosure. (Table 5, Article 06)
7. Indicate the height of the proposed masonry screening wall. Also provide a wall detail that depicts the height, materials, and design. (Subsection 08.02. F, of Article 08)
8. Indicate any ground mounted utility equipment and the subsequent screening. (Subsection 01.05. C, of Article 05)
9. Indicate any roof mounted utility equipment and crosshatch it on the building elevations. (Subsection 01.05. C, of Article 05)
10. Dumpster Screening. Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards. 5-gallon evergreen shrubs must be planted around the enclosure. (Subsection 01.05. B, of Article 05)

M.9 Landscape Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Section 2.1 of this checklist)
2. Provide the impervious vs. landscaped area within the site data table. (Subsection 01.01. B, of Article 05)
3. Within the landscape table provide the quantities of each plant and the size. Canopy trees must be 4 caliper inches, accent trees must be 4-feet tall, and shrubs must be 5 gallons. (Subsection 05.03. B, of Article 05)
4. Provide the required detention landscaping. There must be 1 canopy tree per 750 SF and 1 accent tree per 1,500 SF. (Subsection 05.03. B, of Article 05)
5. Identify the visibility triangles for both driveway intersections. (Subsection 01.08, of Article 05)
6. Clearly indicate and delineate the landscape buffer around the property, and indicate the berm along W. Bourn Street and S. Goliad Street. (Subsection 05.01, of Article 08)
7. Are you requesting a variance to the landscape buffer requirements? The landscape buffers along the roadways require 1 canopy tree and 1 accent tree per 50 linear feet of frontage. If you are requesting a variance to not plant the canopy trees I will need a variance letter.

M.10 Treescape Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Section 2.1 of this checklist)
2. Provide a Treescape table that indicates the sizes of the trees on the subject property. (Subsection 03.01. G, of Article 09)

M.11 Photometric Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (Section 2.1 of this checklist)
2. Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property. (Subsection 03.03, of Article 07)
3. The maximum foot-candles cannot exceed 20 FC and the maximum foot-candles at all property lines must not exceed 0.2 FC. (Subsection 03.03. G, of Article 07)
4. Please indicate the mounting heights of all the proposed lighting. (Subsection 03.03. D, of Article 07)
5. Please provide cutsheets for all of the proposed lighting. (Subsection 03.03. A, of Article 07)

M.12 Building Elevations:

1. Please verify the orientation of the building; the directional callouts do not appear to be correct. (Subsection 06.02. C, of Article 05)
2. Please provide the material percentages on each façade of the proposed building. (Subsection 04.01, of Article 05)

3. Please be more specific on the building materials; specify the brick, concrete panels, and metal panel system. (Subsection 04.01, of Article 05)
4. Please provide a note indicating that the parapet will be finished on both sides with the same material as the exterior facing wall. (Subsection 04.01, of Article 05)
5. The wall on the west side of the building does not meet the wall length requirements. Either a wall projection going 2.5-feet out can be added or a variance can be requested for the secondary façade articulation. (Subsection 04.01.
6. Please crosshatch the roof mounted utility equipment. (Subsection 01.05. C, of Article 05)

I.13 Staff has identified the following variances associated with the proposed request: [1] no canopy trees in the landscape buffers, and [2] secondary façade articulation. Should you decide to request these items as variances, please provide a letter that lists the variances, why they are being requested, and the subsequent compensatory measures. For each variance requested you must provide two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, etc.

I.14 Please note that failure to address all comments provided by staff by 3:00 PM on September 7, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 13, 2022 Planning & Zoning Meeting.

I.16 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on August 30, 2022.
- 2) Planning & Zoning meeting/public hearing meeting will be held on September 13, 2022.

I.17 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	08/25/2022	Needs Review

- 08/25/2022: - Must show existing/proposed utilities.
- Sidewalk to be 2' from ROW/Property line.
 - 100' min required driveway variance needed.
 - Parking adjacent to the building to be 20x9' minimum.
 - Must have 15'x64' parking turnaround. Striped and signed "No Parking"

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:

- Detention is required.
- Manning's C-value is per zoning type.
- Dumpster areas to drain to oil/water separator and then to the storm lines.
- No vertical walls allowed in detention.

Water and Wastewater Items:

- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Minimum public sewer is 8".
- Must tie into a min of an 8" looped water line.

Roadway Paving Items:

- Need driveway spacing variance along Bourn St.
- Parking to be 20'x9' facing the building or nose-to-nose.
- No dead-end parking allowed.
- Drive isles to be 24' wide.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane to be in a platted easement.
- Must build a 5' sidewalk along Bourn Street
- Alley ROW will not be allowed to be used as access.
- Traffic Impact Analysis is required. May need a decel and acceleration lane at Goliad driveway location
- TxDOT permits are required.
- \$2.50/sf of sidewalk pro-rata along SH 205 due to City.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	08/24/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/24/2022	Approved w/ Comments

08/24/2022: FDC shall be facing and visible from the fire lane or approved City Street.

FDC must be within 100 feet of a fire hydrant.

The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access (City Street)

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/19/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/22/2022	Approved w/ Comments

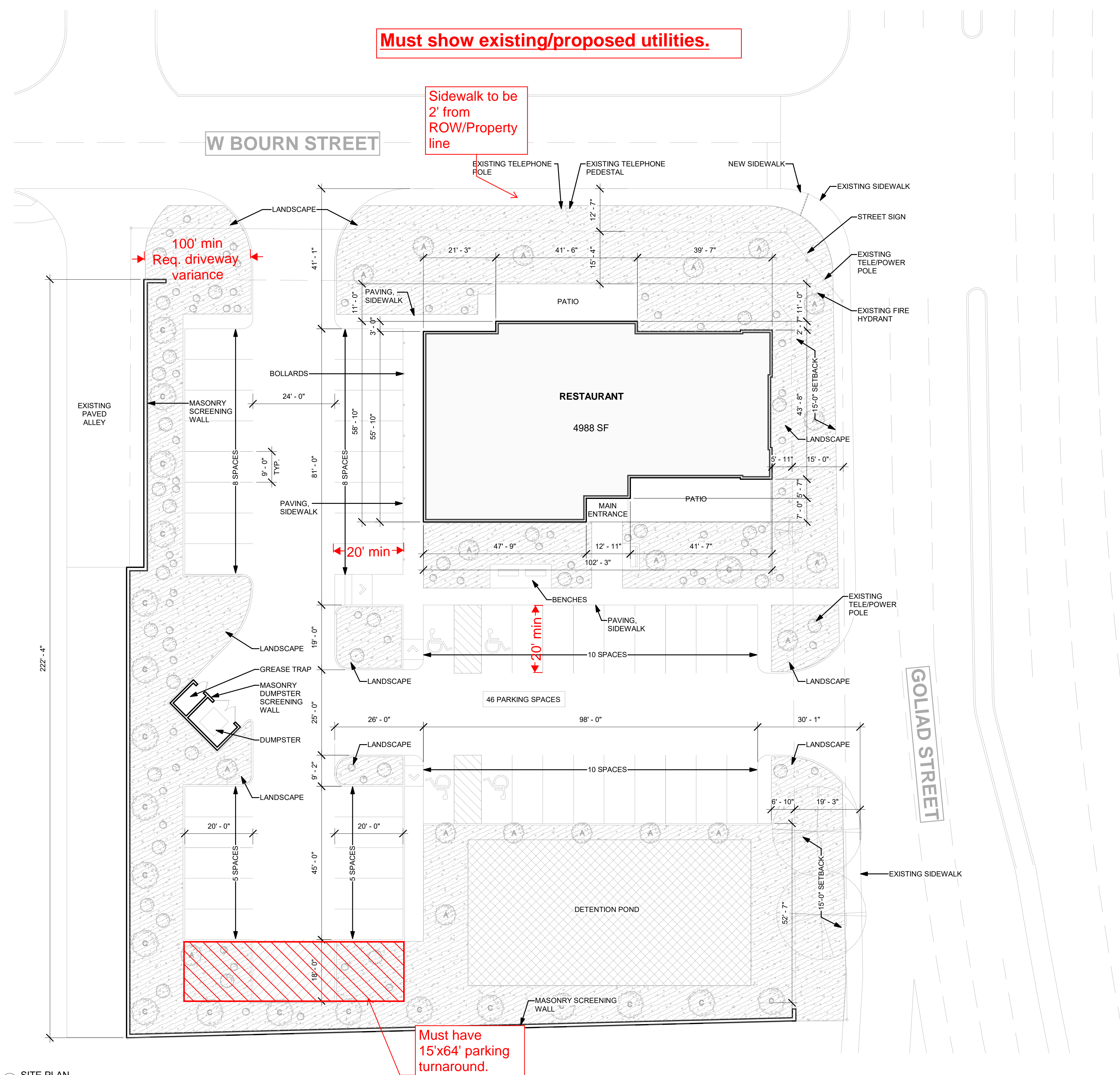
08/22/2022: Landscape Plan:

Need to show tree sizes on plant legend

Canopy 4" minimum

Ornamental / Accent 4' height minimum

Please provide a tree mitigation plan on trees being removed.
species, caliper health



Must show existing/proposed utilities.

Sidewalk to be 2' from ROW/Property line

100' min Req. driveway variance

20' min

20' min

Must have 15'x64' parking turnaround. Striped and signed "No Parking"

1 SITE PLAN
1/16" = 1'-0"

- General Items:**
- Must meet City Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Wastewater & Roadway)
 - Minimum easement width is 20' for new easements. No structures allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls must be rock or stone face. No smooth concrete walls.
- Drainage Items:**
- Detention is required.
 - Manning's C-value is per zoning type.
 - Dumpster areas to drain to oil/water separator and then to the storm lines.
 - No vertical walls allowed in detention.
- Water and Wastewater Items:**
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - Minimum public sewer is 8".
 - Must tie into a min of an 8" looped water line.
- Roadway Paving Items:**
- Need Driveway spacing variance along Bourn St.
 - Parking to be 20'x9' facing the building or nose-to-nose.
 - No dead-end parking allowed.
 - Drive isles to be 24' wide.
 - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
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 - Must build a 5' sidewalk along Bourn Street
 - Alley ROW will not be allowed to be used as access.
 - Traffic Impact Analysis is required. May need a decel and acceleration lane at Goliad driveway location
 - TxDOT permits are required.
 - \$2.50/sf of sidewalk pro-rata along SH 205 due to City.
- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

ADLOR ENTERPRISES LLC

214-538-2209

ALUMNI BAR & GRILL

906 S GOLIAD STREET
ROCKWALL, TX 75087

DESIGN DEVELOPMENT

08/18/22

date	description
08/18/22	PS
	AA

22-6199

SITE PLAN

S1.01

8/19/2022 8:17:15 AM

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DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2022-045

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 906 S. GOLIAD

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION S. GOLIAD & BOURN ST.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING CR CURRENT USE _____

PROPOSED ZONING _____ PROPOSED USE _____

ACREAGE 1.13 (49258^{30.F}) LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER ADLOR ENTERPRISES LLC. APPLICANT

CONTACT PERSON ALLEN ANDERSON CONTACT PERSON _____

ADDRESS 1208 S. LAKESHORE DR ADDRESS _____

CITY, STATE & ZIP ROCKWALL, TX. 75087 CITY, STATE & ZIP _____

PHONE 214-538-2209 PHONE _____

E-MAIL AAINTX@MSN.COM E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

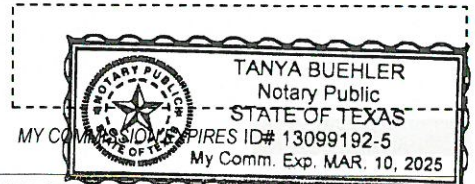
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ALLEN ANDERSON [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

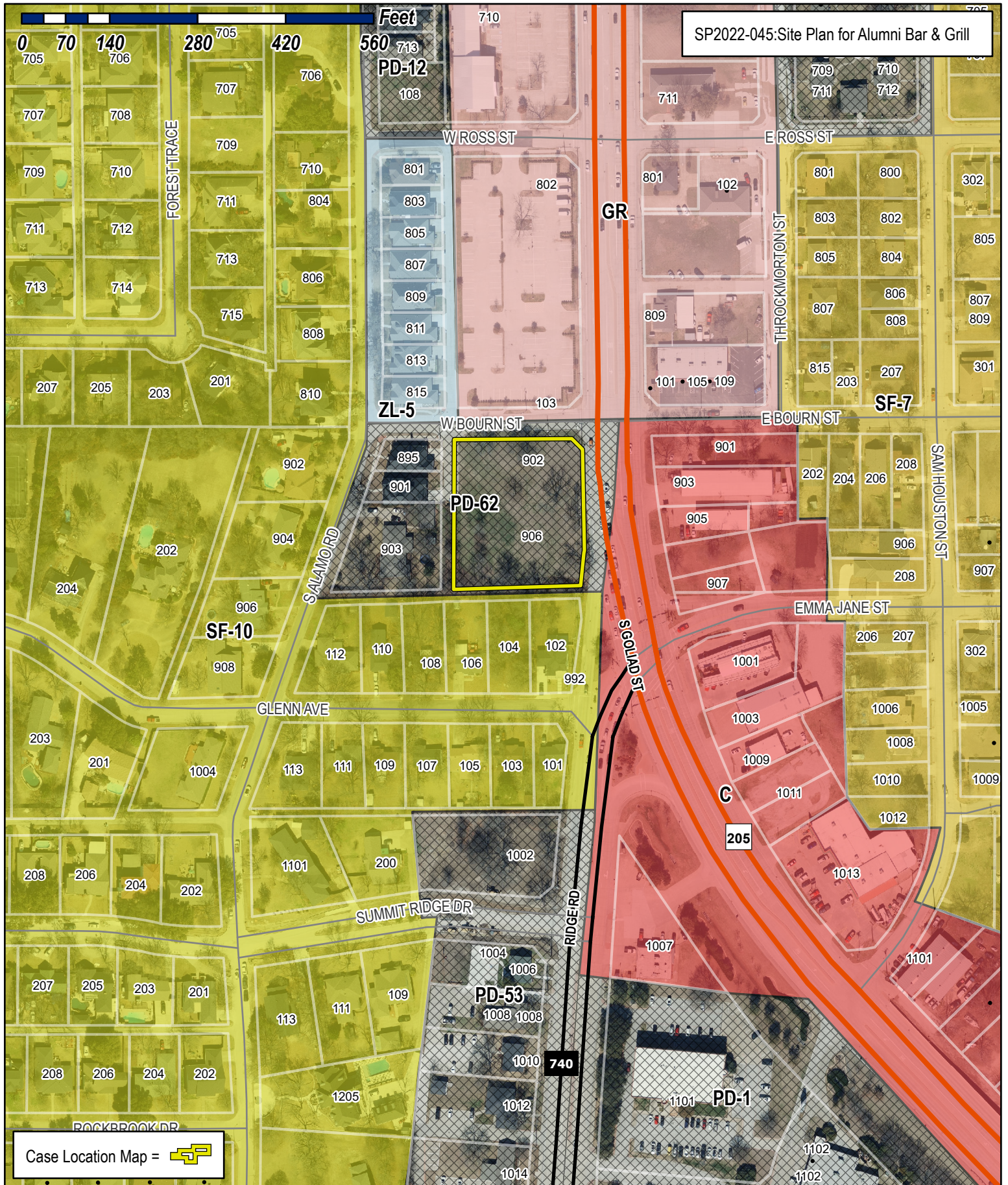
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 272.64 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19th DAY OF August, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19th DAY OF August, 2022

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





SP2022-045: Site Plan for Alumni Bar & Grill

Case Location Map =

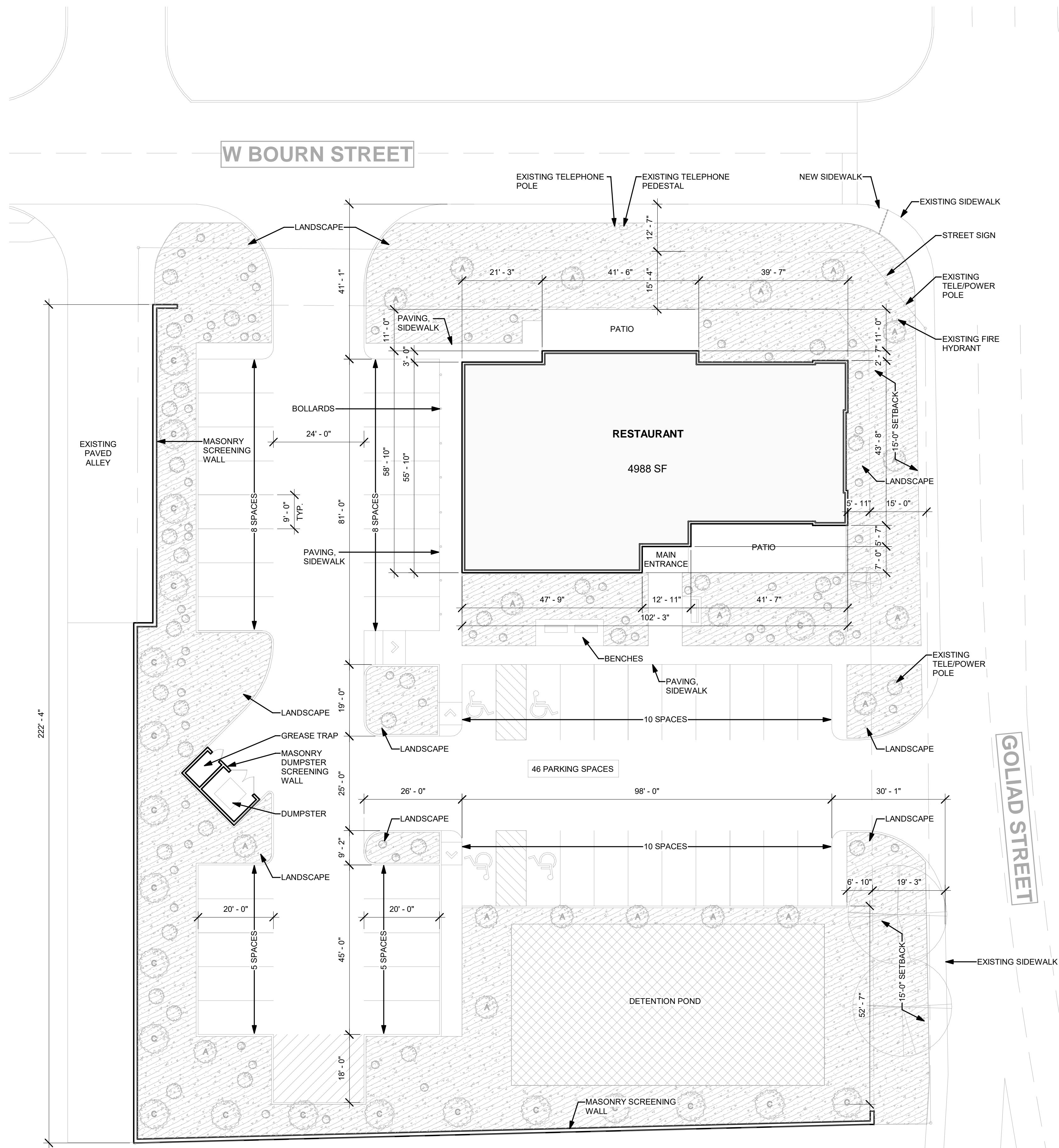


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





1 SITE PLAN
1/16" = 1'-0"

ADLOR
ENTERPRISES, LLC

214-538-2209

ALUMNI BAR & GRILL

906 S GOLIAD STREET
ROCKWALL, TX 75087

DESIGN
DEVELOPMENT

08/18/22

PS

AA

date description

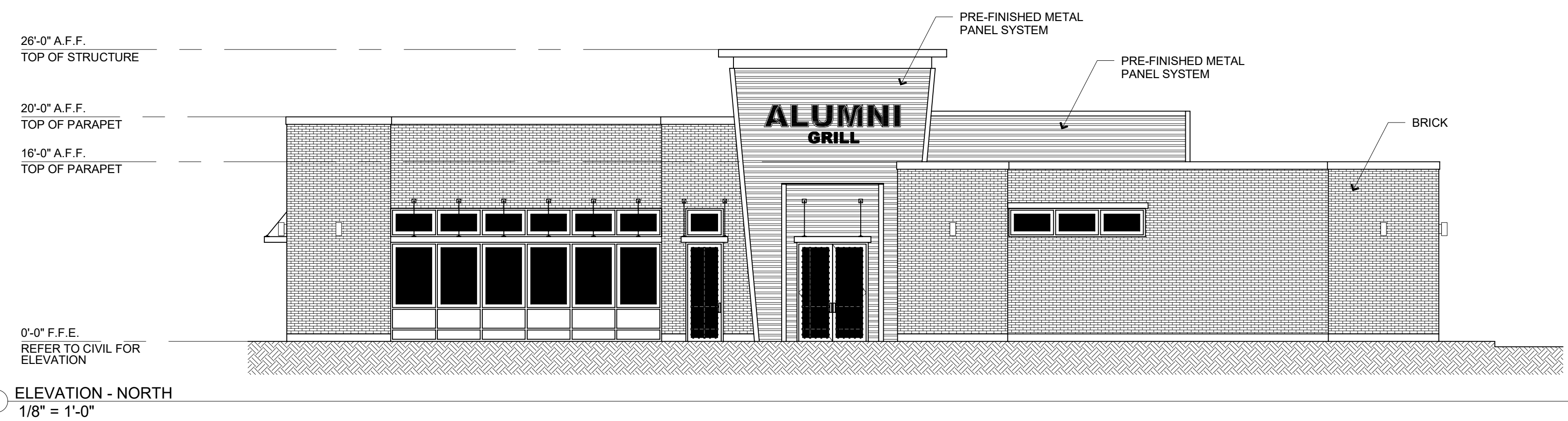
22-6199

SITE PLAN

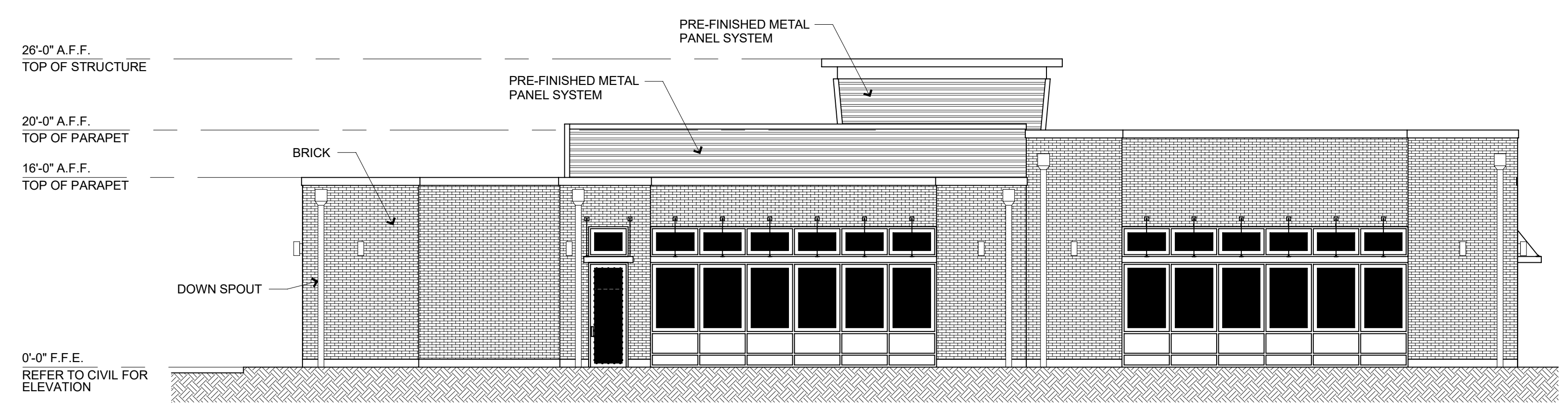
S1.01

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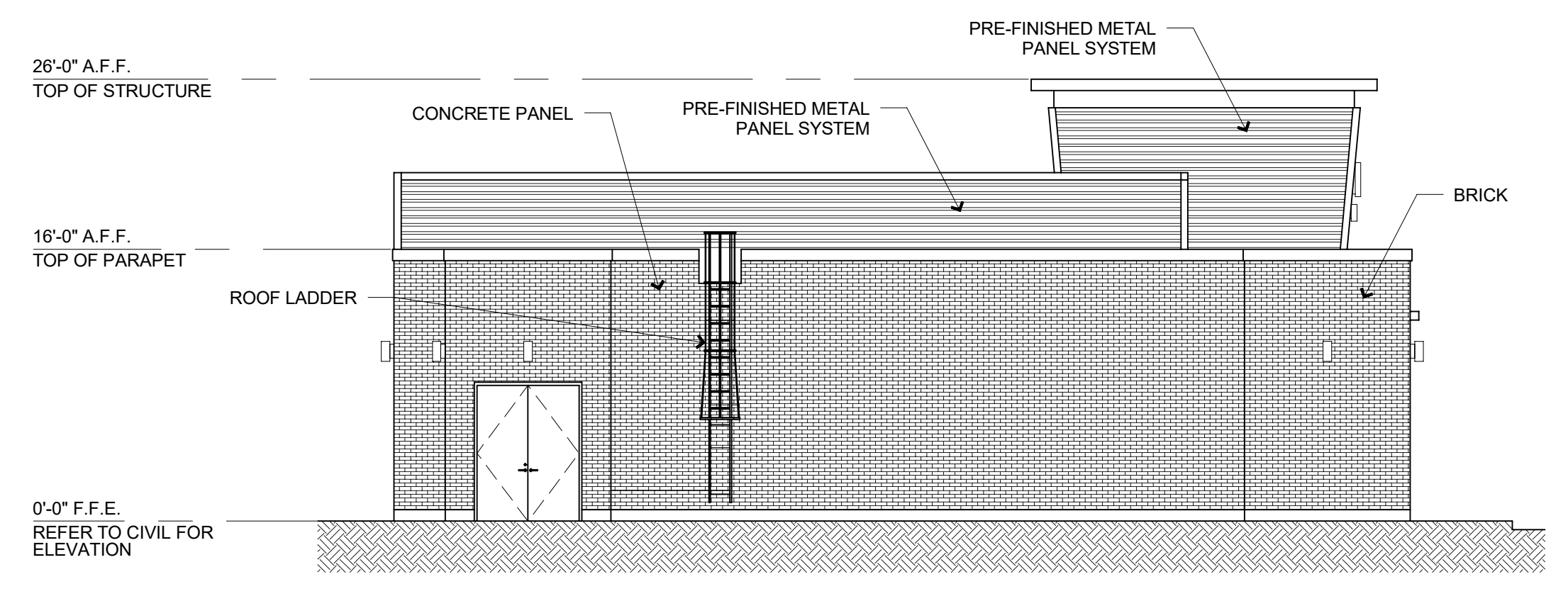
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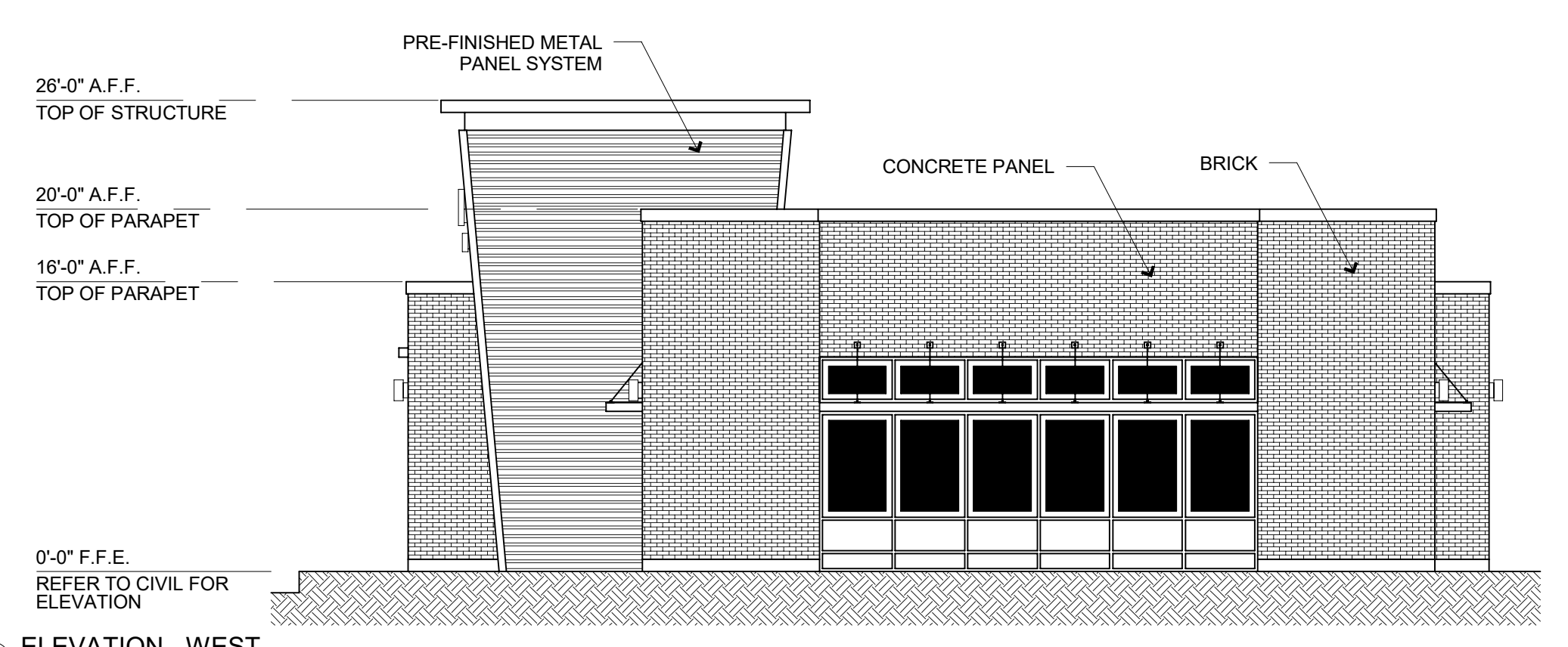
① ELEVATION - NORTH
1/8" = 1'-0"



② ELEVATION - SOUTH
1/8" = 1'-0"



③ ELEVATION - EAST
1/8" = 1'-0"



④ ELEVATION - WEST
1/8" = 1'-0"

**ADLOR
ENTERPRISES, LLC**
214-538-2209

ALUMNI BAR & GRILL
906 S GOLIAD STREET
ROCKWALL, TX 75087

DESIGN
DEVELOPMENT

08/18/22

date	description

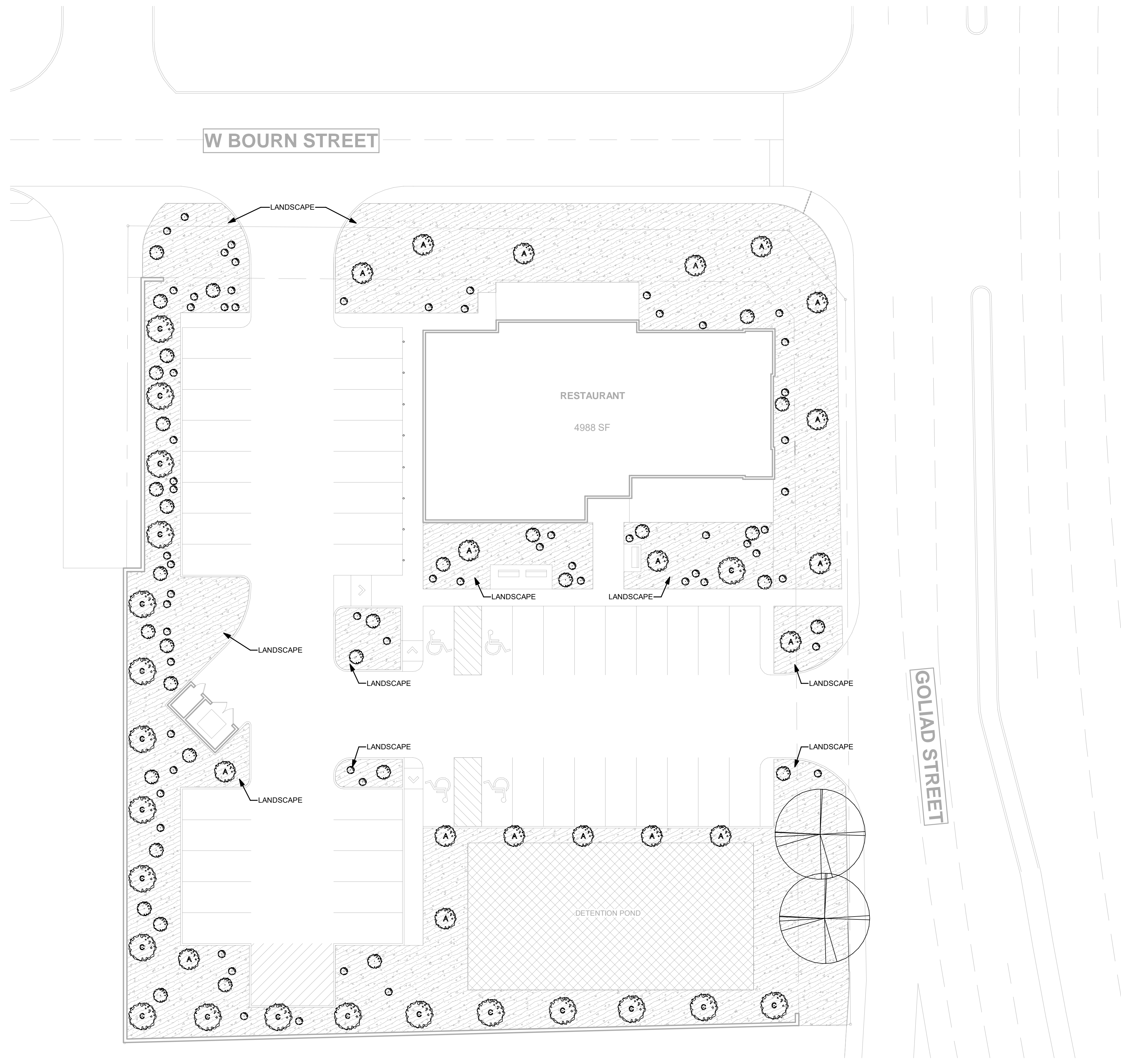
22-6199

BUILDING
ELEVATIONS

A2.01

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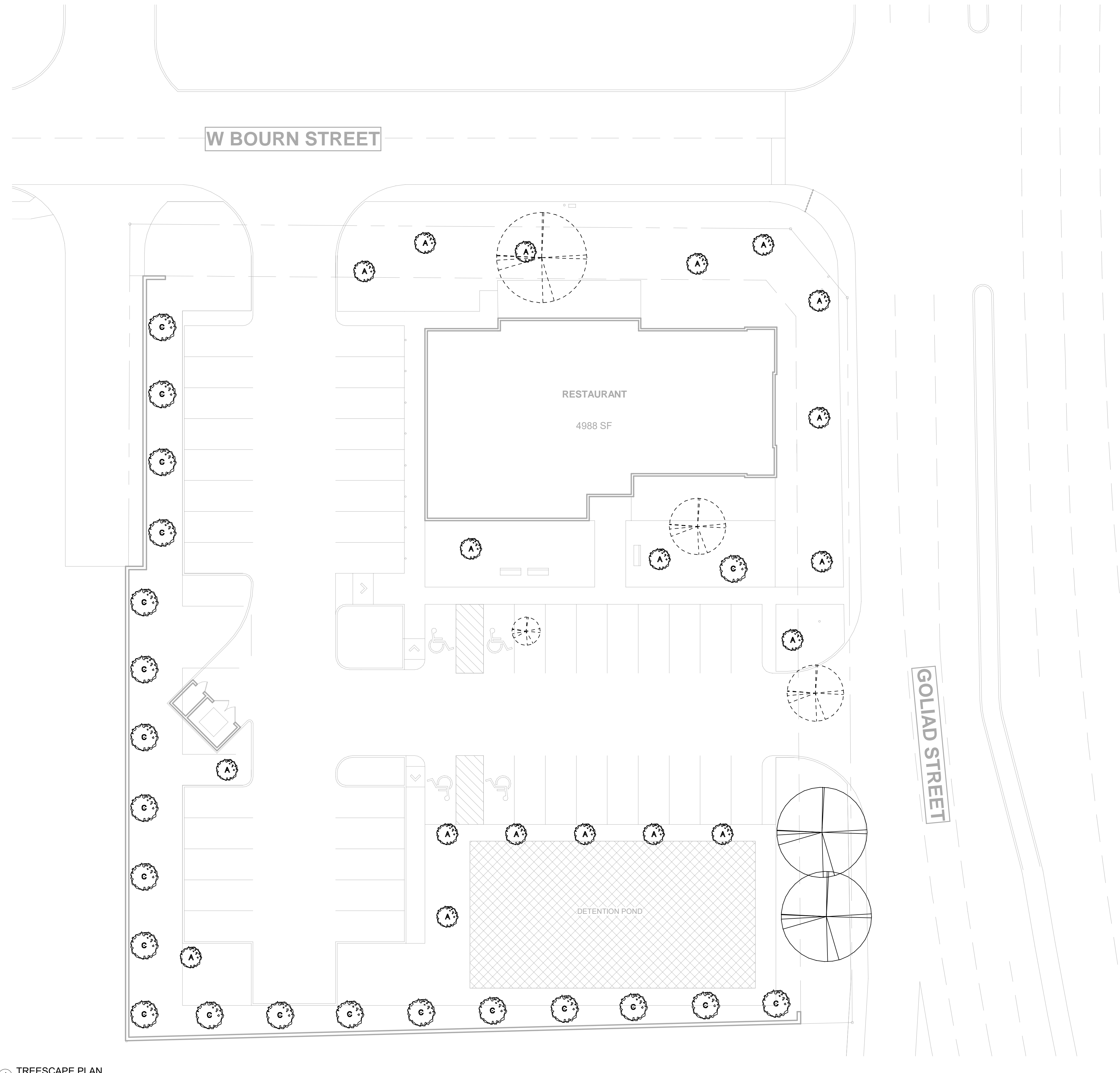
1 LANDSCAPE PLAN
1/16" = 1'-0"

- NOTES:**
1. ALL LANDSCAPE AREA SHALL BE IRRIGATED WITH FULLY AUTOMATIC IRRIGATION SYSTEM.
 2. LANDSCAPE BED SHRUBS AND SCREENING SHRUBS SHALL BE SELECTED BASED ON THE INFORMATION ON THIS DRAWING SHEET.
 3. STREET TREES SHALL BE A MINIMUM OF 4" CALIPER MEASURED 6" ABOVE THE ROOT BALL.
 4. ALL LANDSCAPING SHALL CONFORM TO THE CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE.

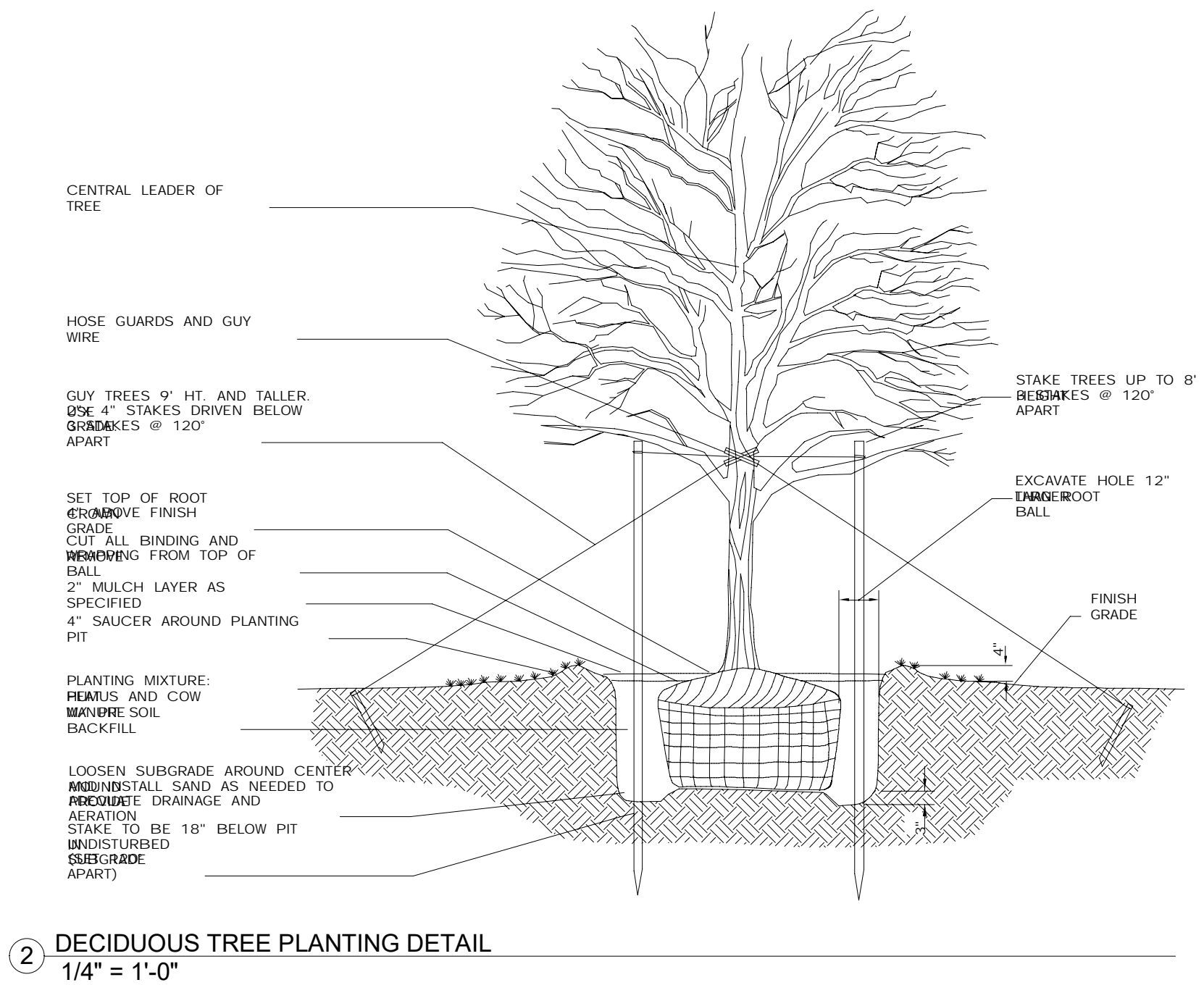
LEGEND		
	SHRUBS, JUNIPER, SAGE, ABELIA	UNIPER, SAGE, ABELIA
	SHRUBS 24"-48"	TEXAS SAGE, SUNSHINE LIGHTSTRUM, LOROPETALUM
	ACCENT TREE	MAGNOLIA
	CANOPY TREE	LIVE OAK, RED OAK
	EXISTING TREE	HACKBERRY
	EXISTING TREE TO BE REMOVED	VARIOUS
	LANDSCAPE BED, TYP.	LANDSCAPE BED, TYP.

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1 TREESCAPE PLAN
1/16" = 1'-0"

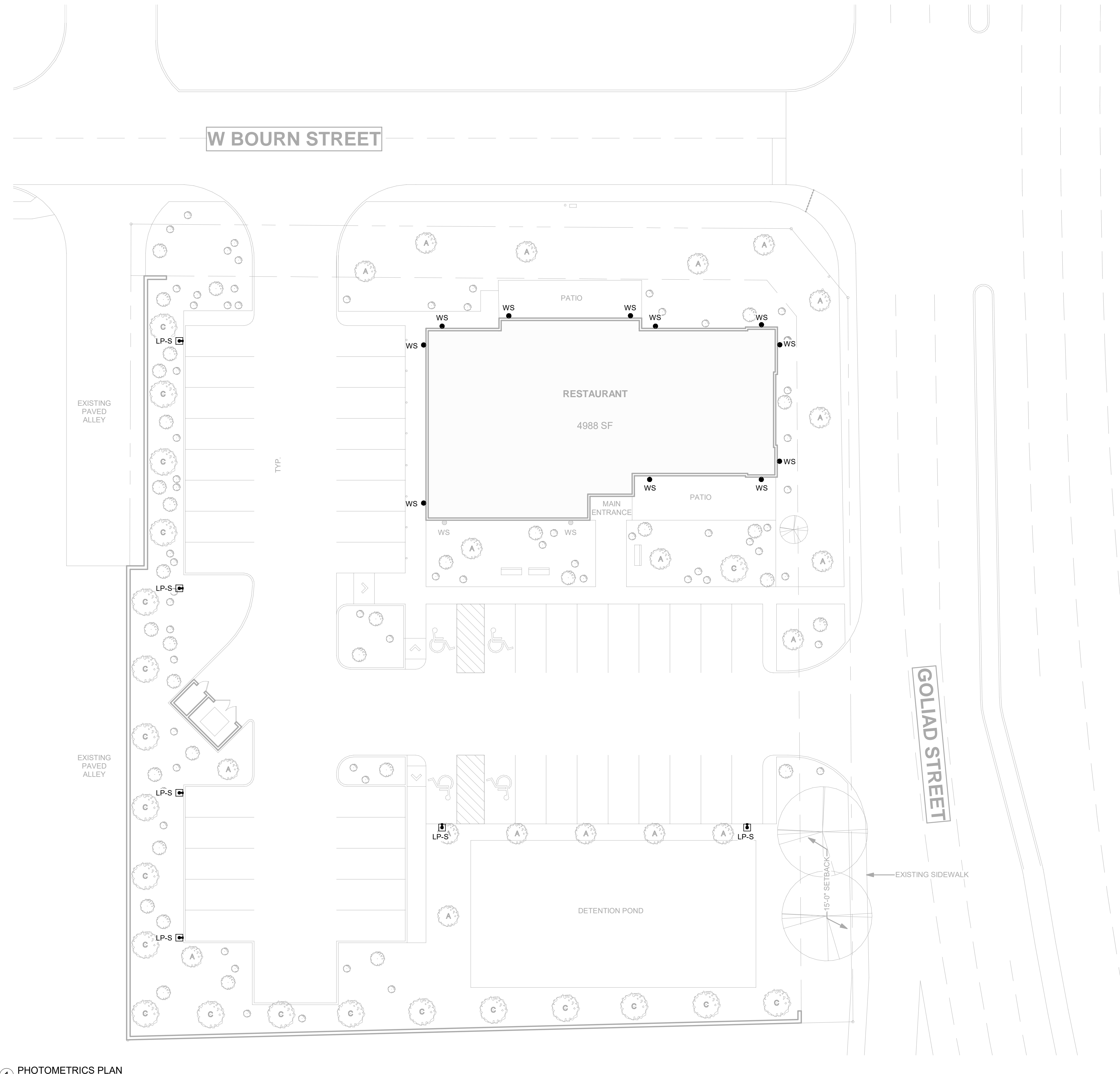


NOTES:
1. TREES MITIGATION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE.

LEGEND		
	ACCENT TREE	MAGNOLIA
	CANOPY TREE	LIVE OAK, RED OAK
	EXISTING TREE	HACKBERRY
	EXISTING TREE TO BE REMOVED	VARIOUS

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8/19/2022 8:17:13 AM



1 PHOTOMETRICS PLAN
1/16" = 1'-0"

- NOTES:**
- ILLUMINATION VALUES SHALL NOT EXCEED 20 F.C.
 - ILLUMINATION VALUES AT THE PROPERTY LINES SHALL NOT BE MORE THAN 0.2 F.C.
 - WHEN FINAL OUTDOOR LIGHTING FIXTURES HAVE BEEN SELECTED, PHOTOMETRICS SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE.

LEGEND	
LP-S	LIGHT POLE WITH SINGLE LED LIGHT FIXTURE, WITH HOUSE SIDE SHIELD
WS	WALL SCONCE LED LIGHT FIXTURE

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8/19/2022 8:17:15 AM

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/26/2022

PROJECT NUMBER: SP2022-047
PROJECT NAME: Site Plan for SPR Packaging
SITE ADDRESS/LOCATIONS: 1200 E WASHINGTON ST

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by Arlyn Samuelson of Westwood Professional Services on behalf of Carolina Molina of Alvaplast US, Inc. for the approval of a Site Plan for an Industrial Building on a 43.00-acre parcel of land identified as Lot 2, Block 1, Indalloy Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1200 E. Washington Street and 501 Industrial Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	08/26/2022	Needs Review

08/26/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for an Industrial Building on a 43.00-acre parcel of land identified as Lot 2, Block 1, Indalloy Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1200 E. Washington Street and 501 Industrial Boulevard.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2022-047) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the General Industrial District Standards, and the Development Standards of Article 05, that are applicable to the subject property.

M.5 Site Plan:

1. Please label the fire lanes as Fire Lane, Access, and Utility Easement. (Subsection 03.04. B, of Article 11)
2. The parking requirement is 1 per 1,000 SF for warehousing and 1 per 300 SF for office. In this case you need 180 parking spaces. This exception must be included in a variance letter. Consider showing the future parking to be added with any expansions. (Table 5, Article 06)
3. The existing chain link fencing may remain, but it shall not be replaced. Is there any new fencing? (Subsection 08.02. F, of Article 08)
4. Is there any ground mounted utility equipment? (Subsection 01.05. C, of Article 05)
5. Indicate the RTU's and crosshatch them on the building elevations; they must be completely screened. (Subsection 01.05. C, of Article 05)
6. Are there any above ground storage tanks? If so, indicate the subsequent screening. (Subsection 01.05. D, of Article 05)
7. Is there any outside storage? If so, it must be indicated on the site plan along with the subsequent screening. (Subsection 05.02, of Article 08)
8. Dumpster Screening. Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards. 5-gallon evergreen shrubs must be planted around the enclosure. (Subsection 01.05. B, of Article 05)
9. The landscape buffer adjacent to the residential must be 50-feet. (Subsection 01.06, of Article 05)

M.6 Landscape Plan:

1. Provide the impervious vs. landscaped area within the site data table. (Subsection 01.01. B, of Article 05)
2. Within the landscape table provide the quantities of each plant and the size. Canopy trees must be 4 caliper inches, accent trees must be 4-foot tall, and shrubs must be 5 gallons. (Subsection 05.03. B, of Article 05)
3. Provide the required detention landscaping. There must be 1 canopy tree per 750 SF and 1 accent tree per 1,500 SF. In this case there should be 83 canopy trees and 42 accent trees. (Subsection 05.03. B, of Article 05)

M.7 Treescape Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Section 2.1 of this checklist)
2. The tree mitigation balance is 276 caliper inches. After the tree preservation credit and the new trees planted on site the remaining mitigation balance is 150 caliper inches. Per the mitigation requirements a minimum of 196 caliper inches must be replanted and the remaining 49 caliper inches may be purchased at \$100.00 per inch. That being said, once the detention landscaping is added the mitigation balance will be zero (Subsection 03.01. G, of Article 09)

M.8 Photometric Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (Section 2.1 of this checklist)
2. The maximum foot-candles cannot exceed 20 FC and the maximum foot-candles at all property lines must not exceed 0.2 FC. In this case, the 0.2 FC requirement is exceeded along the north property line near the secondary entry. (Subsection 03.03. G, of Article 07)

M.9 Building Elevations:

1. Exterior walls should consist of 90% masonry materials and 20% stone excluding doors and windows. In this case this would be two (2) exceptions to be included in the variance letter. (Subsection 05.01.C .1 of Article 05)
2. Please provide a note indicating that the parapet will be finished on both sides with the same material as the exterior facing wall. (Subsection 04.01, of Article 05)
3. An exception for tilt wall construction will need to be included in the variance letter. (Subsection 05.01.C .1 of Article 05)
4. The building does not meet the wall length requirements for both primary and secondary facades. This will be a requested exception to the horizontal articulation requirements. (Subsection 05.01.C .1 of Article 05)
5. Please crosshatch the roof mounted utility equipment. (Subsection 01.05. C, of Article 05)

I.10 Staff has identified the following exceptions associated with the proposed request: [1] parking requirements, [2] tilt wall construction, [3] less than 90% masonry, [4] less than 20% stone, and [5] primary and secondary façade articulation. Should you decide to request these items as exceptions, please provide a letter that lists the exceptions, why they are being requested, and the subsequent compensatory measures. For each exception requested you must provide two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, enhanced landscaping, etc.

I.11 Please note that failure to address all comments provided by staff by 3:00 PM on September 7, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 13, 2022 Planning & Zoning Meeting.

I.13 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on August 30, 2022.
- 2) Planning & Zoning meeting/public hearing meeting will be held on September 13, 2022.

I.14 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a

representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	08/25/2022	Needs Review

08/25/2022: - Zoning case currently in process shows connection to Airport through lot to north. Communicate with them regarding the drive isle to Airport Rd.

- Will possibly need an off-site drainage easement from adjacent property owner to discharge detention drainage. Depends on location of outfall.
- Are you removing ex. water line? Can build on top of an easement.
- Min 8" line for fire hydrant lead over 50'.
- Parking adjacent to building is 20'x9' min.
- Is the existing hydrant proposed to be removed? May not be on a manhole.
- No trees within 5' of existing sewer.
- 328' exceeds maximum hydrant lead length.
- Need all fire hydrant to have 5' clearance around including parking space.

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.
- Must plat the property.

Roadway Paving Items:

- Parking to be 20'x9' facing the building or nose-to-nose.
- No dead-end parking allowed, must have a City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum. - Fire lane to be in a platted easement.
- Traffic Impact Analysis required if access to Washington is not gated. Review fees apply.

Water and Wastewater Items:

- All public water and sewer must be centered in a minimum of 20' easement including all appurtenances.
- Any water lines must be a minimum of 8", looped, and must be centered in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)

Drainage Items:

- Detention is required.
- Areas of 20 acres or more draining to a single detention pond must use the unit hydrograph method. Review fees apply.
- Detention outfall must be at sheet flow conditions when storm water crosses the property line.
- Manning's C-value is per zoning type.
- Existing storm sewer and drainage system will have to be reviewed to ensure system can handle proposed drainage.
- Dumpster areas to drain to oil/water separator and then to the storm lines.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	08/24/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/24/2022	Approved w/ Comments

08/24/2022: FDC shall be facing and visible from the fire lane.

FDC must be within 100 feet of a fire hydrant.

The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/23/2022	Approved

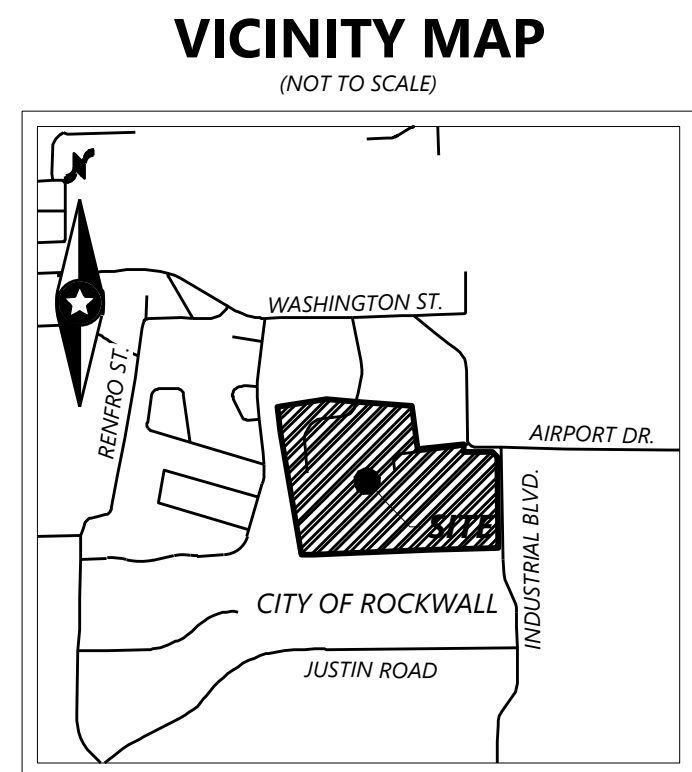
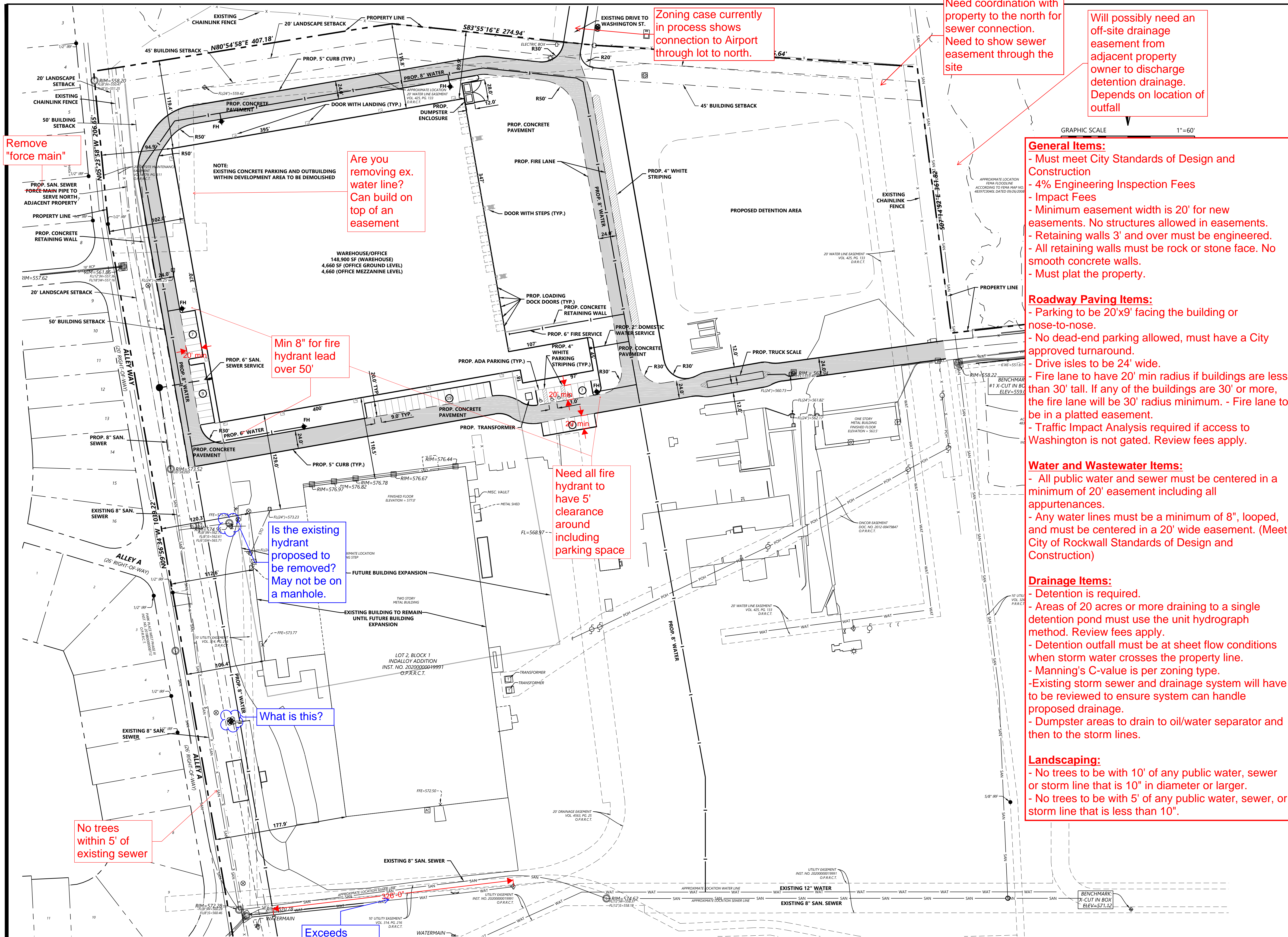
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/22/2022	Approved w/ Comments

08/22/2022: Tree mitigation approved

Landscape Plan

Live Oak must be 4" caliper minimum



- General Items:**
- Must meet City Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees
 - Minimum easement width is 20' for new easements. No structures allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls must be rock or stone face. No smooth concrete walls.
 - Must plat the property.
- Roadway Paving Items:**
- Parking to be 20'x9' facing the building or nose-to-nose.
 - No dead-end parking allowed, must have a City approved turnaround.
 - Drive isles to be 24' wide.
 - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
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 - Traffic Impact Analysis required if access to Washington is not gated. Review fees apply.
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- Detention is required.
 - Areas of 20 acres or more draining to a single detention pond must use the unit hydrograph method. Review fees apply.
 - Detention outfall must be at sheet flow conditions when storm water crosses the property line.
 - Manning's C-value is per zoning type.
 - Existing storm sewer and drainage system will have to be reviewed to ensure system can handle proposed drainage.
 - Dumpster areas to drain to oil/water separator and then to the storm lines.
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 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

PARKING	
THE MINIMUM PARKING REQUIRED FOR A WAREHOUSE DISTRIBUTION CENTER IS TO BE "AS DETERMINED BY THE DIRECTOR" (PER CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE, ARTICLE 06 "PARKING AND LOADING," TABLE 5 "PARKING REQUIREMENT SCHEDULE," UNDER THE CATEGORY "INDUSTRIAL AND MANUFACTURING LAND USES").	
PARKING COUNTS	
NUMBER OF EMPLOYEES IN 1ST SHIFT: 25	
NUMBER OF EMPLOYEES IN 2ND SHIFT: 20	
NUMBER OF DAILY VISITORS: 03	
TOTAL PARKING SPACES NEEDED = 48	
TOTAL PARKING SPACES PROVIDED = 50	
ACCESSIBLE PARKING	
PER CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE, ARTICLE 06 "PARKING AND LOADING," SECTION 05.04 "HANDICAPPED PARKING":	
TOTAL REQUIRED PARKING IN LOT:	REQUIRED NUMBER OF HANDICAPPED SPACES:
51-75	3
76-100	4
THIS PROJECT PROVIDES 4 ACCESSIBLE PARKING SPACES, WITHIN A TOTAL OF 50 PARKING SPACES PROVIDED.	

SITE DATA SUMMARY TABLE	
ITEM	LOT 1, BLOCK A
SITE DATA	
RCM ZONING MAP)	LIGHT INDUSTRIAL (LI)
(SQUARE FEET)	WAREHOUSE W/OFFICE
(ACRES)	43.0138
FOOTPRINT AREA, (SF) - PROPOSED	153,560
HEIGHT (#STORIES)	1
HEIGHT (FT-DIST TO TALLEST ELEMENT)	50.4'
GRADE (%)	8.20%
REA RATIO (X:XX:1)	0.08

JURE BLOCK

THEY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF ROCKWALL ON _____

IDS, _____

_____, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

SITE PLAN
 SPR DISTRIBUTION CENTER
 LOCATED IN THE CITY OF ROCKWALL, TEXAS
 LOT 2, BLOCK 1
 INDALLOY ADDITION
 ROCKWALL COUNTY, TEXAS
 CASE # XXXXX
 SUBMITTED AUGUST 19, 2022

DESIGNED:
 CHECKED:
 DRAWN:
 HORIZONTAL SCALE:
 VERTICAL SCALE:

INITIAL ISSUE: XX/XX/XX
 REVISIONS:
 PREPARED FOR:

SPR PACKAGING
 1480 JUSTIN ROAD
 ROCKWALL, TEXAS 75087

PRELIMINARY
 FOR INTERIM REVIEW ONLY
 NOT TO BE USED FOR
 CONSTRUCTION OR
 BIDDING PURPOSES.
 Engineer, **RYAN W. SMELSON, P.E.**
 P.E. No. 92817
 Date: 08/19/2022

SPR DISTRIBUTION CENTER
 ROCKWALL, TEXAS

Westwood
 Phone (214) 473-4640 2901 Dallas Parkway, Suite 400
 Toll Free (888) 937-5150 Plano, TX 75093
 westwoodps.com
 Westwood Professional Services, Inc.
 TPE FIRM REGISTRATION NO. F-11756
 TPELS FIRM REGISTRATION NO. 10074301

SHEET NUMBER:
1.00
 PROJECT NUMBER: 0036677.00 DATE: 08/19/22

SPR DISTRIBUTION CENTER



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1480 Justin Road

SUBDIVISION Indalloy Addition

LOT 2

BLOCK 1

GENERAL LOCATION Approx. 700 feet south of E. Washington St. and 450 feet west of Airport Rd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial (LI)

CURRENT USE Unoccupied Industrial Building

PROPOSED ZONING No Change

PROPOSED USE Industrial Distribution Center

ACREAGE 43.0

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Alvaplast U.S., Inc.

APPLICANT Westwood Professional Services

CONTACT PERSON Carolina Molina

CONTACT PERSON Arlyn Samuelson

ADDRESS 1480 Justin Road

ADDRESS 2901 Dallas Parkway, Suite 400

CITY, STATE & ZIP Rockwall, Texas 75087

CITY, STATE & ZIP Plano, Texas 75093

PHONE 469-402-1232

PHONE 972-265-4860

E-MAIL cmolina@sprpackaging.com

E-MAIL asamuelson@westwoodps.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

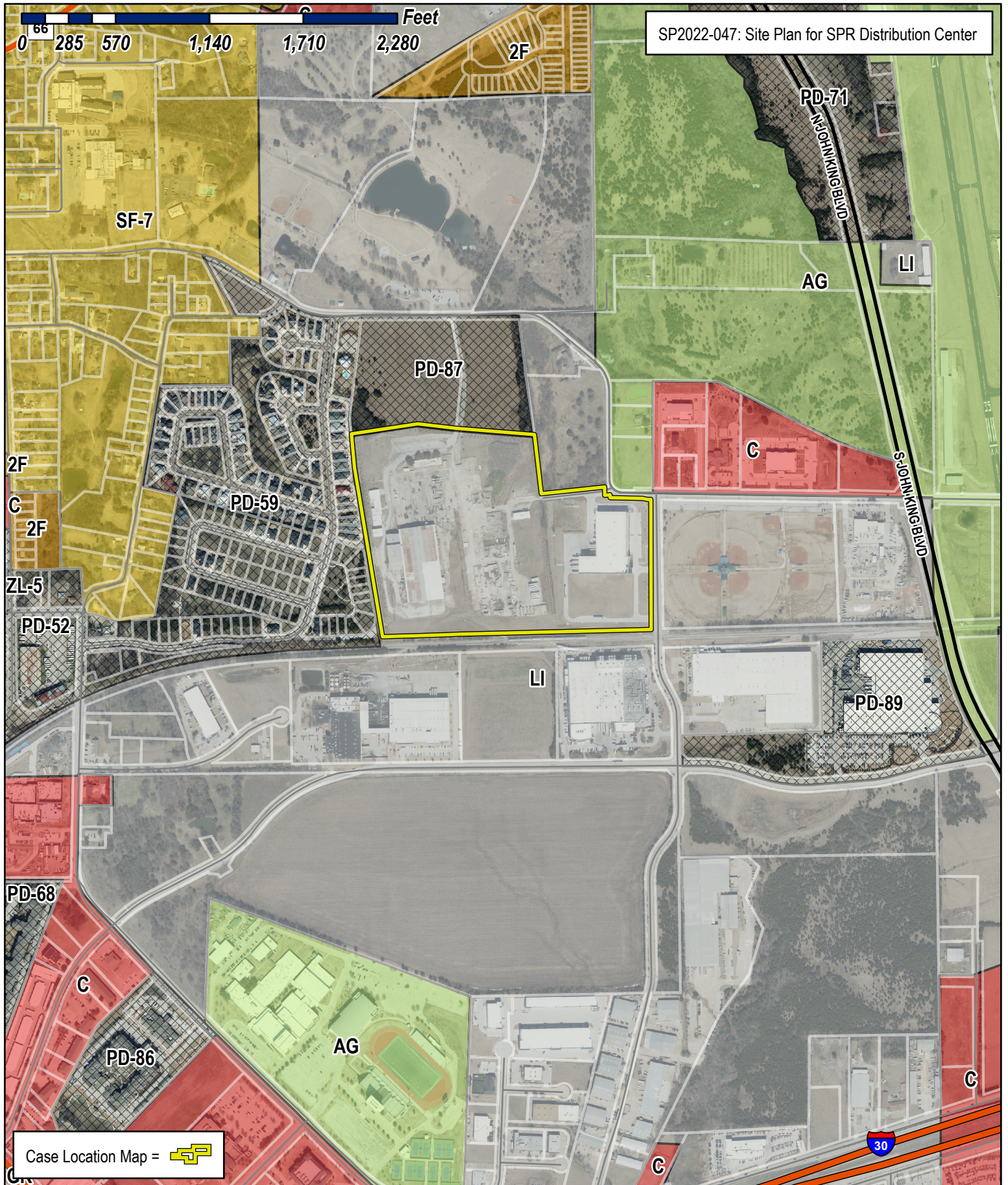
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

MY COMMISSION EXPIRES _____



SP2022-047: Site Plan for SPR Distribution Center

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



MJDII Architects, Inc.

16775 Addison Road, Suite 310
Addison, Texas 75001
Tel: (972) 866-8600
Fax: (972) 866-8601
E-Mail: MJDII@MJDII.com

Memorandum

To City of Rockwall, Texas, Planning and Zoning Department
From Brent T. Northington – MJDII Architects, Inc.
Re SPR Distribution Center – Variance Request Letter
Date 19 August 2022
Project SPR Distribution Center
Copies

City of Rockwall Planning and Zoning Staff:

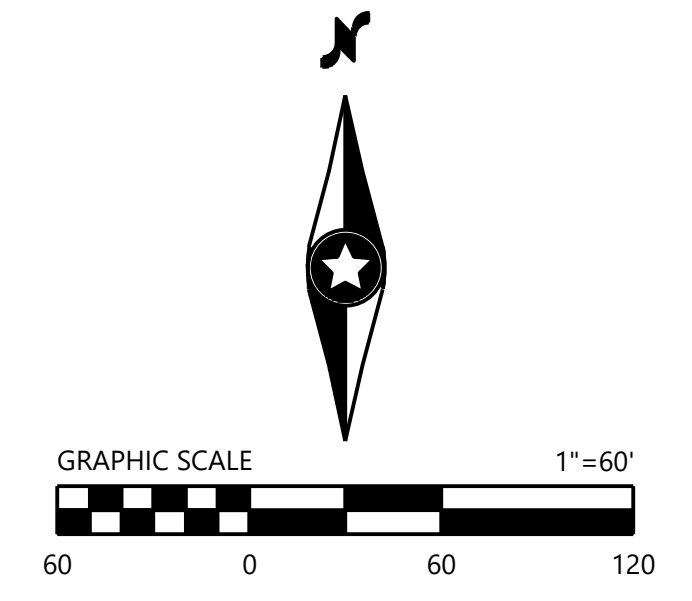
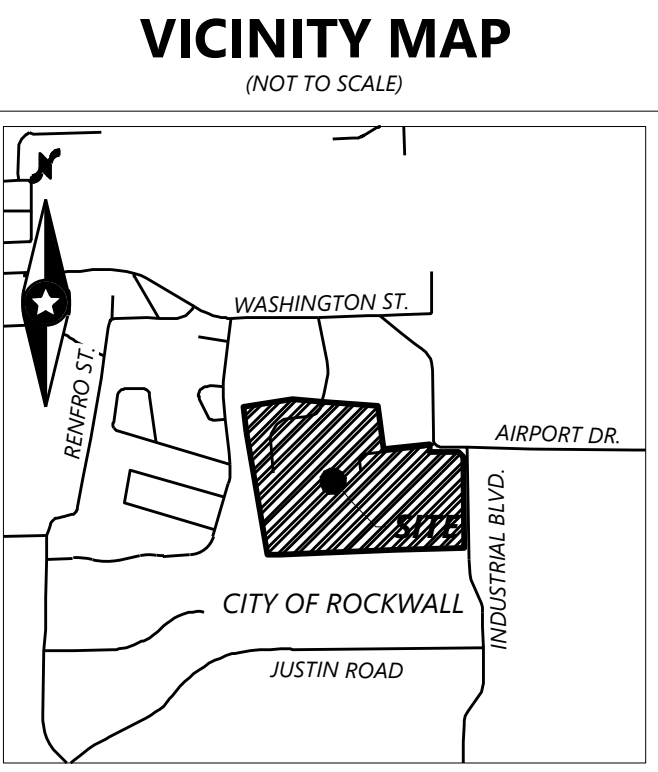
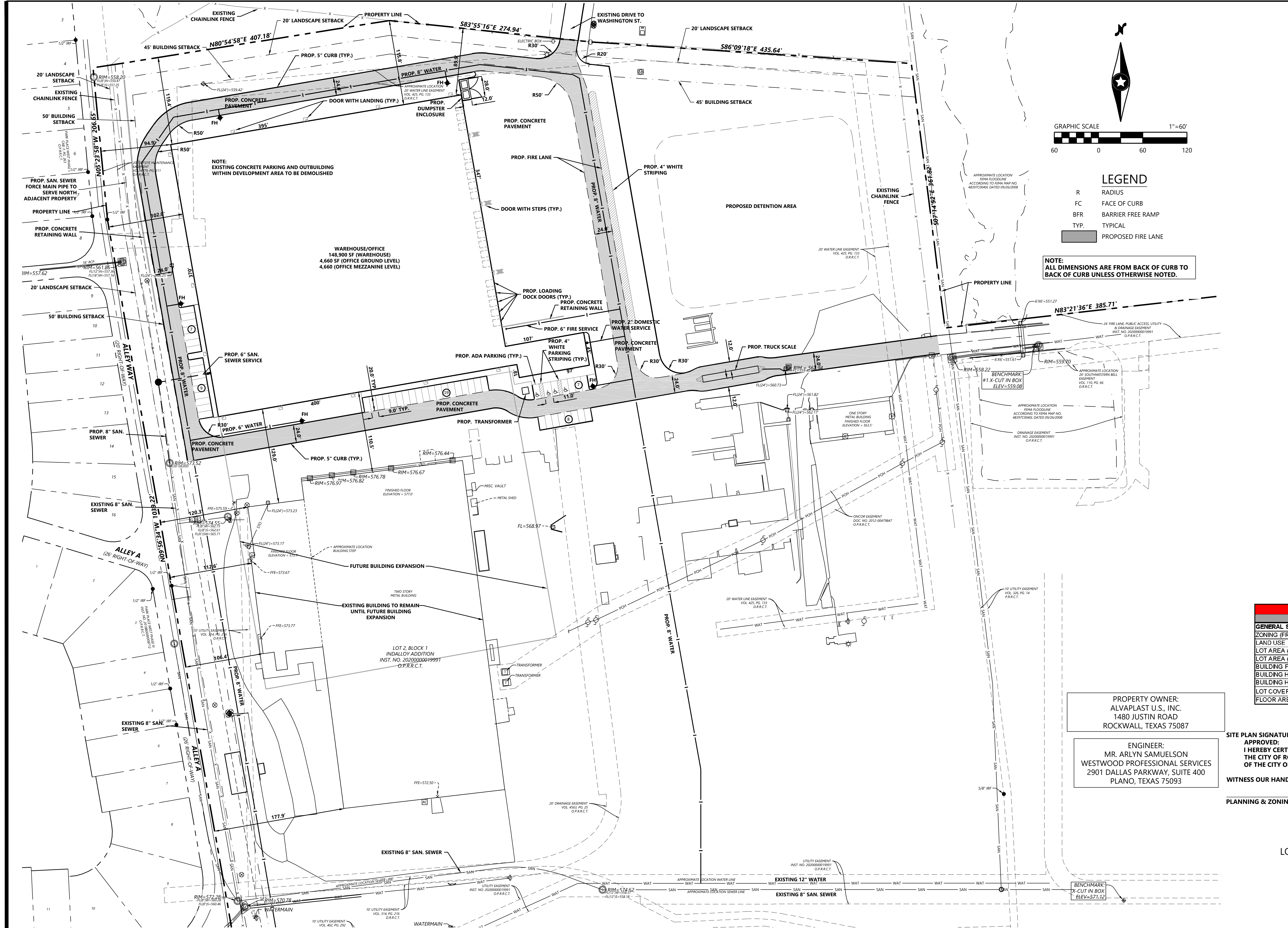
Per our in-person meeting held at your office on 7/28/2022, and a phone conversation with Mr. Ryan Miller (Director of Planning) on 8/11/2022, it is our understanding that there are no known variances being requested at this time.

Pending review comments by City of Rockwall Planning and Zoning staff of our Site Plan Submittal Package submitted on 8/19/2022, variances may be requested at a later date, once we are made aware of which variances need to be requested, if any.

Sincerely,



Brent T. Northington
Project Architect
MJDII Architects, Inc.



- LEGEND**
- R RADIUS
 - FC FACE OF CURB
 - BFR BARRIER FREE RAMP
 - TYP. TYPICAL
 - PROPOSED FIRE LANE

NOTE: ALL DIMENSIONS ARE FROM BACK OF CURB TO BACK OF CURB UNLESS OTHERWISE NOTED.

PARKING	
THE MINIMUM PARKING REQUIRED FOR A WAREHOUSE DISTRIBUTION CENTER IS TO BE "AS DETERMINED BY THE DIRECTOR" (PER CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE, ARTICLE 06 "PARKING AND LOADING," TABLE 5 "PARKING REQUIREMENT SCHEDULE," UNDER THE CATEGORY "INDUSTRIAL AND MANUFACTURING LAND USES").	
PARKING COUNTS	
NUMBER OF EMPLOYEES IN 1ST SHIFT:	25
NUMBER OF EMPLOYEES IN 2ND SHIFT:	20
NUMBER OF DAILY VISITORS:	03
TOTAL PARKING SPACES NEEDED =	48
TOTAL PARKING SPACES PROVIDED =	50
ACCESSIBLE PARKING	
PER CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE, ARTICLE 06 "PARKING AND LOADING," SECTION 05.04 "HANDICAPPED PARKING":	
TOTAL REQUIRED PARKING IN LOT:	REQUIRED NUMBER OF HANDICAPPED SPACES:
51-75	3
76-100	4
THIS PROJECT PROVIDES 4 ACCESSIBLE PARKING SPACES, WITHIN A TOTAL OF 50 PARKING SPACES PROVIDED.	

SITE DATA SUMMARY TABLE	
ITEM	LOT 1, BLOCK A
GENERAL SITE DATA	
ZONING (FROM ZONING MAP)	LIGHT INDUSTRIAL (LI)
LAND USE	WAREHOUSE W/OFFICE
LOT AREA (ACRES)	1.873,685
LOT AREA (SQUARE FEET)	43,0138
BUILDING FOOTPRINT AREA (SF) - PROPOSED	153,560
BUILDING HEIGHT (#STORIES)	1
BUILDING HEIGHT (FT-DIST TO TALLEST ELEMENT)	50'-4"
LOT COVERAGE (%)	8.20%
FLOOR AREA RATIO (X:XX:1)	0.08

PROPERTY OWNER:
ALVAPLAST U.S., INC.
1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087

ENGINEER:
MR. ARLYN SAMUELSON
WESTWOOD PROFESSIONAL SERVICES
2901 DALLAS PARKWAY, SUITE 400
PLANO, TEXAS 75093

SITE PLAN SIGNATURE BLOCK

APPROVED: _____
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON _____

WITNESS OUR HANDS, _____

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

SITE PLAN
SPR DISTRIBUTION CENTER
LOCATED IN THE CITY OF ROCKWALL, TEXAS
LOT 2, BLOCK 1
INDALLOY ADDITION
ROCKWALL COUNTY, TEXAS
CASE # XXXXX
SUBMITTED AUGUST 19, 2022

DESIGNED: _____
CHECKED: _____
DRAWN: _____
HORIZONTAL SCALE: _____
VERTICAL SCALE: _____

INITIAL ISSUE: XX/XX/XX
REVISIONS: _____

PREPARED FOR:
SPR PACKAGING
1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087

PRELIMINARY
FOR INTERIM REVIEW ONLY
NOT TO BE USED FOR
CONSTRUCTION OR
BIDDING PURPOSES.
Engineer: ARLYN SAMUELSON, P.E.
P.E. No.: 95817
Date: 08/19/2022
Westwood

SPR DISTRIBUTION CENTER
ROCKWALL, TEXAS

Westwood
Phone (214) 473-4640 2901 Dallas Parkway, Suite 400
Toll Free (888) 937-5150 Plano, TX 75093
westwoodps.com
Westwood Professional Services, Inc.
TYPE FIRM REGISTRATION NO. F-11756
TSPS FIRM REGISTRATION NO. 10074301

SHEET NUMBER:
1.00
DATE: 08/19/22
PROJECT NUMBER: 0036677.00

SPR DISTRIBUTION CENTER

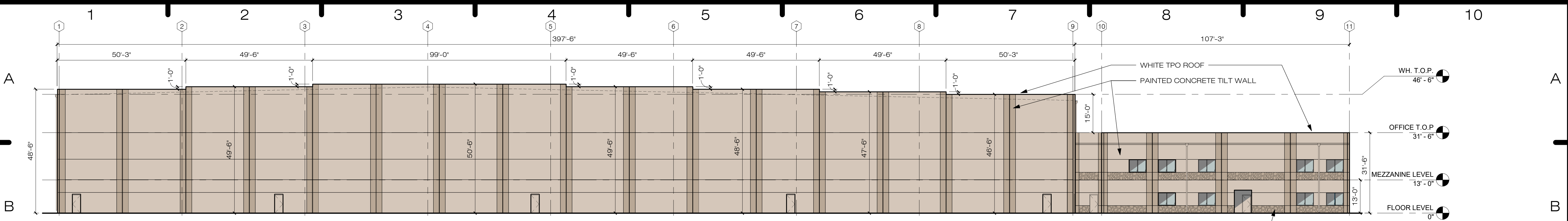
#	DESCRIPTION	DATE

Seal:
 ARCHITECT: JACK A. ROMIGH, AIA
 TEXAS REGISTRATION # 111088
 DATE: 19 AUGUST 2022
 THESE DOCUMENTS ARE PRELIMINARY
 AND NOT TO BE USED FOR
 REGULATORY APPROVAL,
 PERMITTING OR CONSTRUCTION.

SPR
 1480 JUSTIN ROAD
 ROCKWALL, TEXAS 75087
SPR DISTRIBUTION CENTER

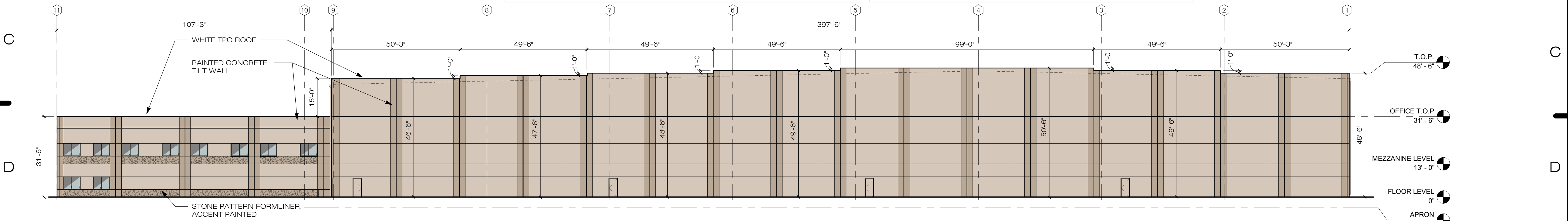
Drawn By:
 Project Number: 22-0013-00
 Date: 19 AUGUST 2022
 Issue: CITY SITE PLAN SUBMITTAL
 Approved By:

Sheet Number:
A3.00
 OVERALL EXTERIOR ELEVATIONS-PROPOSED



SOUTH OFFICE ELEVATION
 74 % PAINTED CONCRETE TILT WALL WITH REVEALS
 15 % STONE PATTERN FORMLINER, ACCENT PAINTED
 11 % CLEAR ANODIZED ALUMINUM FRAMED WINDOWS AND PAINTED HOLLOW METAL DOORS

SOUTH WAREHOUSE ELEVATION
 98 % PAINTED CONCRETE TILT WALL WITH REVEALS
 2 % PAINTED HOLLOW METAL DOORS

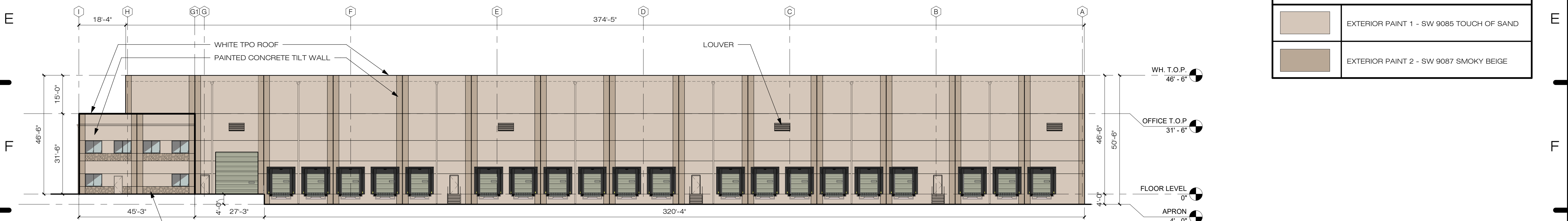


NORTH OFFICE ELEVATION
 75 % PAINTED CONCRETE TILT WALL WITH REVEALS
 15 % STONE PATTERN FORMLINER, ACCENT PAINTED
 10 % CLEAR ANODIZED ALUMINUM FRAMED WINDOWS

NORTH WAREHOUSE ELEVATION
 98 % PAINTED CONCRETE TILT WALL WITH REVEALS
 2 % PAINTED HOLLOW METAL DOORS

EXTERIOR PAINT LEGEND

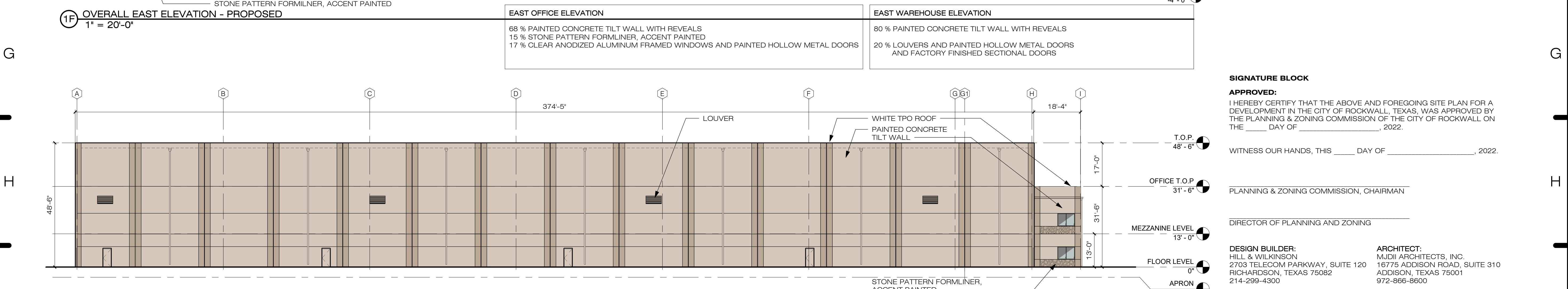
	EXTERIOR PAINT 1 - SW 9085 TOUCH OF SAND
	EXTERIOR PAINT 2 - SW 9087 SMOKY BEIGE



EAST OFFICE ELEVATION
 68 % PAINTED CONCRETE TILT WALL WITH REVEALS
 15 % STONE PATTERN FORMLINER, ACCENT PAINTED
 17 % CLEAR ANODIZED ALUMINUM FRAMED WINDOWS AND PAINTED HOLLOW METAL DOORS

EAST WAREHOUSE ELEVATION
 80 % PAINTED CONCRETE TILT WALL WITH REVEALS
 20 % LOUVERS AND PAINTED HOLLOW METAL DOORS AND FACTORY FINISHED SECTIONAL DOORS

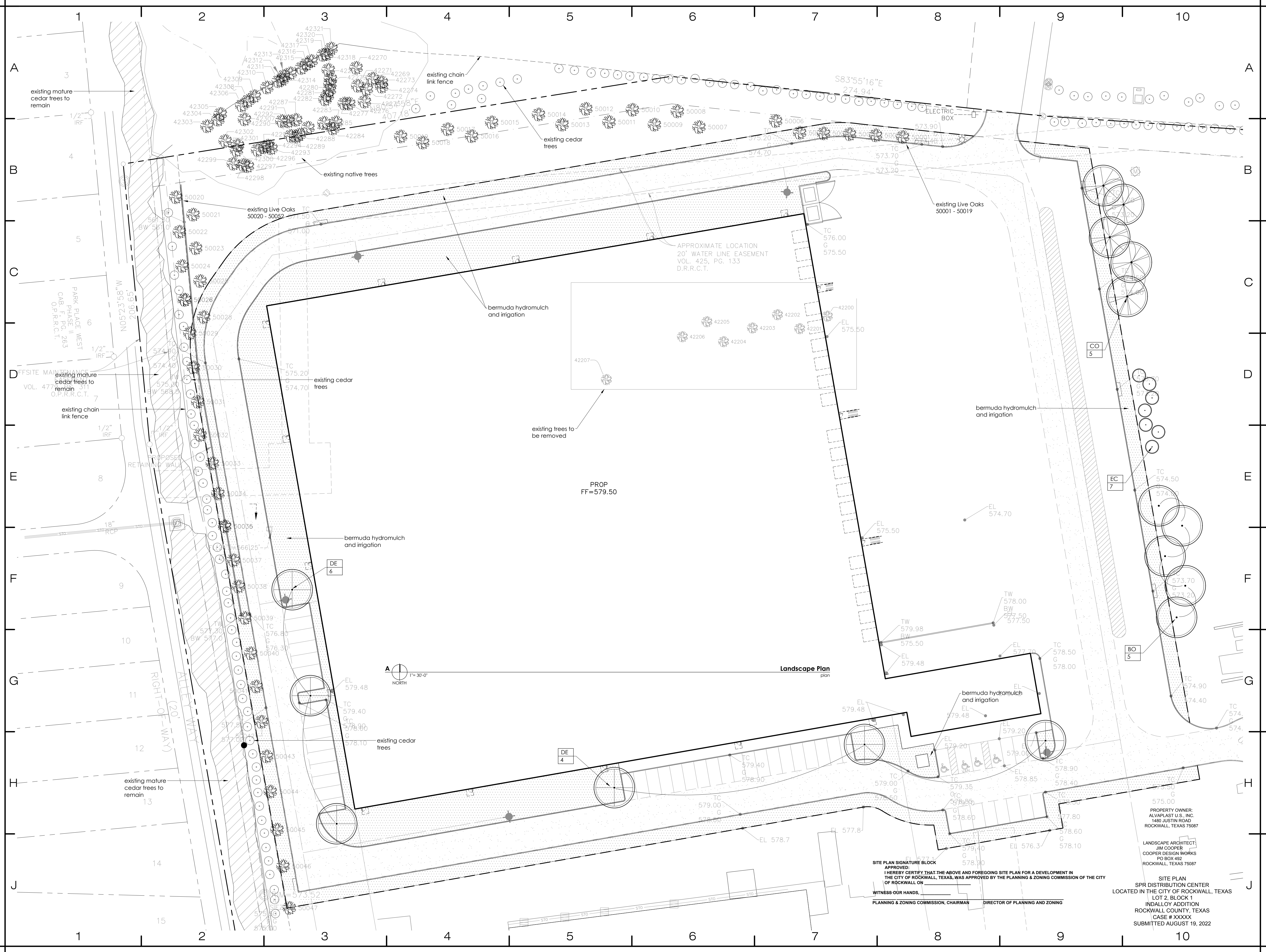
SIGNATURE BLOCK
APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, 2022.
 WITNESS OUR HANDS, THIS ____ DAY OF _____, 2022.



WEST OFFICE ELEVATION
 73 % PAINTED CONCRETE TILT WALL WITH REVEALS
 15 % STONE PATTERN FORMLINER, ACCENT PAINTED
 12 % CLEAR ANODIZED ALUMINUM FRAMED WINDOWS

WEST WAREHOUSE ELEVATION
 96 % PAINTED CONCRETE TILT WALL WITH REVEALS
 4 % LOUVERS AND PAINTED HOLLOW METAL DOORS

PLANNING & ZONING COMMISSION, CHAIRMAN
 DIRECTOR OF PLANNING AND ZONING
 DESIGN BUILDER:
 HILL & WILKINSON
 2703 TELECOM PARKWAY, SUITE 120
 RICHARDSON, TEXAS 75082
 214-299-4300
 ARCHITECT:
 MJDII ARCHITECTS, INC.
 16775 ADDISON ROAD, SUITE 310
 ADDISON, TEXAS 75001
 972-866-8600
 OWNER:
 SPR PACKAGING, LLC.
 1480 JUSTIN RD.
 ROCKWALL, TEXAS 75087
 469-314-1600
 CASE NO. _____
 SUBMITTED 19 AUGUST 2022



MJDII Architects, Inc.
 Architecture • Planning • Consulting
 10775 Addison Road, Suite 310
 Richardson, Texas 75082
 Tel: (972) 866-8600
 Fax: (972) 866-8601

HILL & WILKINSON GENERAL CONTRACTORS
 DESIGN BUILDER
 2703 TELECOM PARKWAY, SUITE 120
 RICHARDSON, TEXAS 75082
 214-299-4300

JQ *shaping the built environment*
 STRUCTURAL ENGINEERING
 180 GLASS STREET
 DALLAS, TEXAS 75207
 214-752-9098

Westwood
 PARKWAY CENTER 1
 2801 DALLAS PARKWAY, SUITE 400
 PLANO, TEXAS 75083
 214-475-4680

COOPER DESIGN WORKS
 LANDSCAPE ARCHITECTURE • PLANNING • URBAN DESIGN
 PO BOX 492 ROCKWALL TEXAS 75087 P 972.412.9519
 cooperdesignworks.com

PILLAR ELECTRIC GROUP
 2703 TELECOM PARKWAY, SUITE 100
 RICHARDSON, TEXAS 75082
 469-277-4860

#	DESCRIPTION	DATE

Seal:
 These documents are for municipal review and not for construction.
 James A Cooper RLA 1287
 19 August 2022

SPR
 1480 JUSTIN ROAD
 ROCKWALL, TEXAS 75087
SPR DISTRIBUTION CENTER

Drawn By: CDW
 Project Number: 22-0013-00
 Date: 19 AUGUST 2022
 Issue: CITY SITE PLAN SUBMITTAL
 Approved By: CDW
 Sheet Number:

L1.01
 Landscape Plan

SITE PLAN SIGNATURE BLOCK
 APPROVED: _____
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON _____
 WITNESS OUR HANDS, _____ DIRECTOR OF PLANNING AND ZONING

SITE PLAN
 SPR DISTRIBUTION CENTER
 LOCATED IN THE CITY OF ROCKWALL, TEXAS
 LOT 2, BLOCK 1
 INDALLOY ADDITION
 ROCKWALL COUNTY, TEXAS
 CASE # XXXXX
 SUBMITTED AUGUST 19, 2022

MJDII Architects, Inc.
 Architecture • Planning • Consulting
 16775 Addison Road, Suite 310
 Addison, Texas 75001
 Tel: (972) 866-8660
 Fax: (972) 866-8601

HILL & WILKINSON
 GENERAL CONTRACTORS

DESIGN BUILDER
 2703 TELECOM PARKWAY, SUITE 120
 RICHARDSON, TEXAS 75082
 214-299-4300

JQ *shaping the built environment*

STRUCTURAL ENGINEERING
 150 GLASS STREET
 DALLAS, TEXAS 75207
 214-752-9098

Westwood

PARKWAY CENTRE 1
 2801 DALLAS PARKWAY, SUITE 400
 PLANO, TEXAS 75093
 214-475-4860

COOPER DESIGN WORKS
 LANDSCAPE ARCHITECTURE • PLANNING • URBAN DESIGN
 PO BOX 492 ROCKWALL TEXAS 75087 P 972.412.9519
 cooperdesignworks.com

PILLAR ELECTRIC GROUP
 2703 TELECOM PARKWAY, SUITE 100
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 469-277-4860

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 ROCKWALL, TEXAS 75087
SPR DISTRIBUTION CENTER

Drawn By: CDW

Project Number: 22-0013-00

Date: 19 AUGUST 2022

Issue: CITY SITE PLAN SUBMITTAL

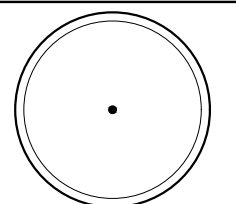
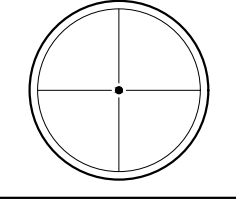
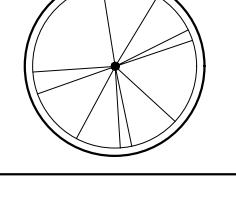
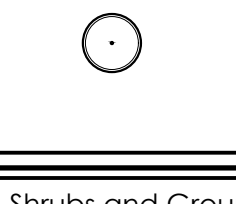
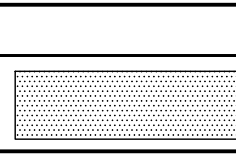
Approved By: CDW

Sheet Number:

L1.02

Landscape Plan

PLANT SCHEDULE

Large Shade And Evergreen Trees					
	SYM	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION AT PLANTING
	LO	6	Live Oak	Quercus virginiana	3" Caliper 12'-14' Ht./ 4'-5' spread, container grown straight trunk.
	DE	6	Drake Elm	Ulmus parvifolia 'Drake'	4" Caliper 12'-14' Ht./ 5'-6' spread, container grown straight trunk.
	CO	5	Chinquapin Oak	Ulmus crassifolia	4" Caliper 12'-14' Ht./ 5'-6' spread, container grown straight trunk.
	EC	7	Easter Red Cedar	Juniperus virginiana	4" Caliper 10'-12' Ht./ 5'-6' spread, full to ground.
Shrubs and Groundcovers					
	SYM	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION AT PLANTING
			Bermuda Hydromulch	Cynodon dactylon	Fine grade prior to installation

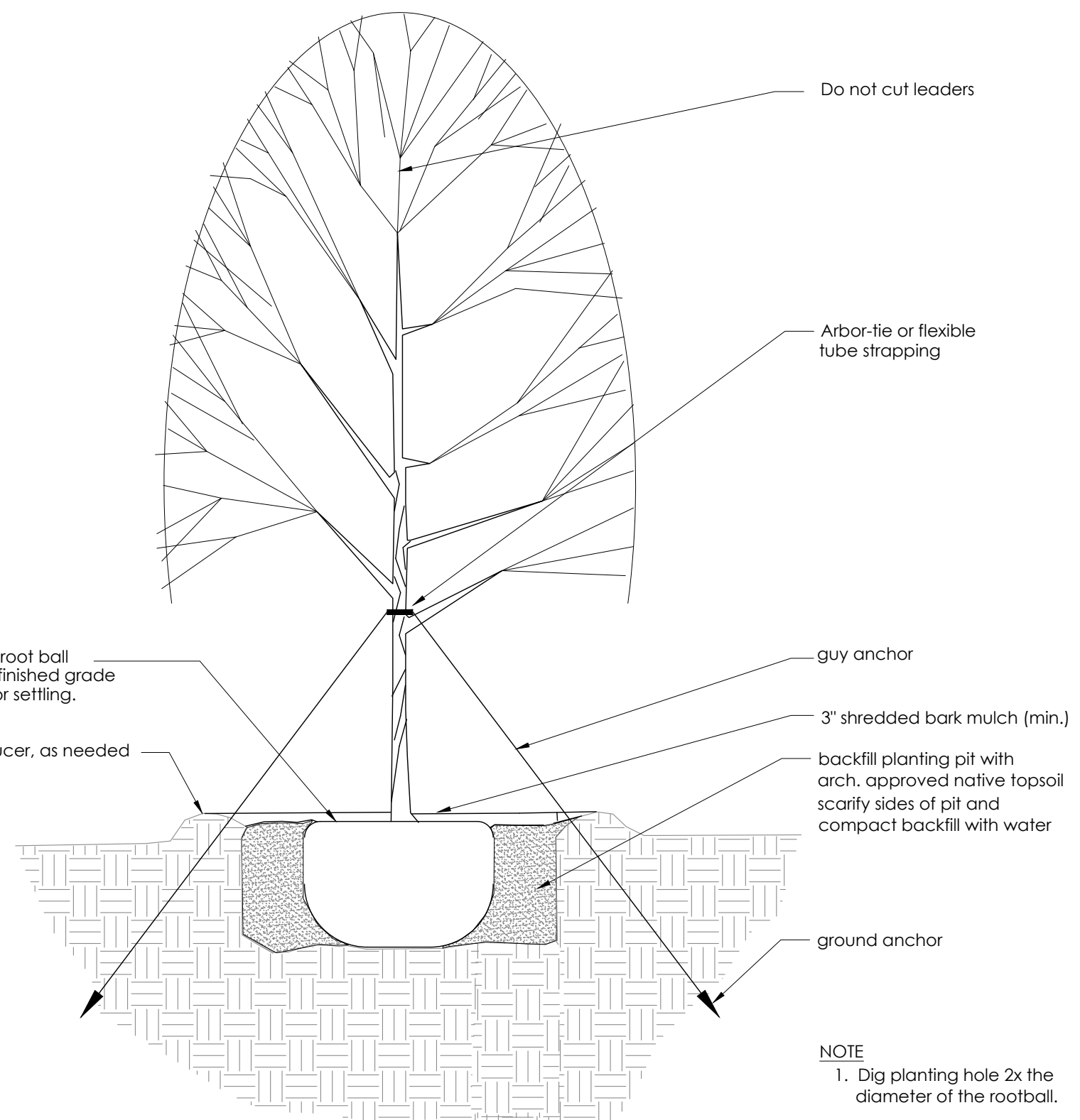
Landscape Calculations:

Parking Lot Landscaping
 Parking Area (Double Row): 4958 SF
 Interior Landscape Area Required 5%: 249 SF
 Interior Landscape Area Provided: 250 SF
 No parking space is more than 80' from a tree.

Abutting Residential Buffer:
 Landscape buffer abutting residential development is existing.

Landscape Notes:
 An automatic irrigation system will be provided comply with the irrigation code of Chapter 10, Buildings and Building Regulations, Article XVI, Irrigation Code, of the City of Rockwall Code of Ordinances, and all applicable state laws, as may be amended.

SITE DATA SUMMARY TABLE	
ITEM	LOT 1, BLOCK A
GENERAL SITE DATA	
ZONING (FROM ZONING MAP)	LIGHT INDUSTRIAL (LI)
LAND USE	WAREHOUSE W/OFFICE
LOT AREA (SQARE FEET)	1,873,685
LOT AREA (ACRES)	43.0139
BUILDING FOOTPRINT AREA (SF) - PROPOSED	153,560
BUILDING HEIGHT (#/STORIES)	1
BUILDING HEIGHT (FT-DIST TO TALLEST ELEMENT)	50'-4"
LOT COVERAGE (%)	8.20%
FLOOR AREA RATIO (XXX'1)	0.08



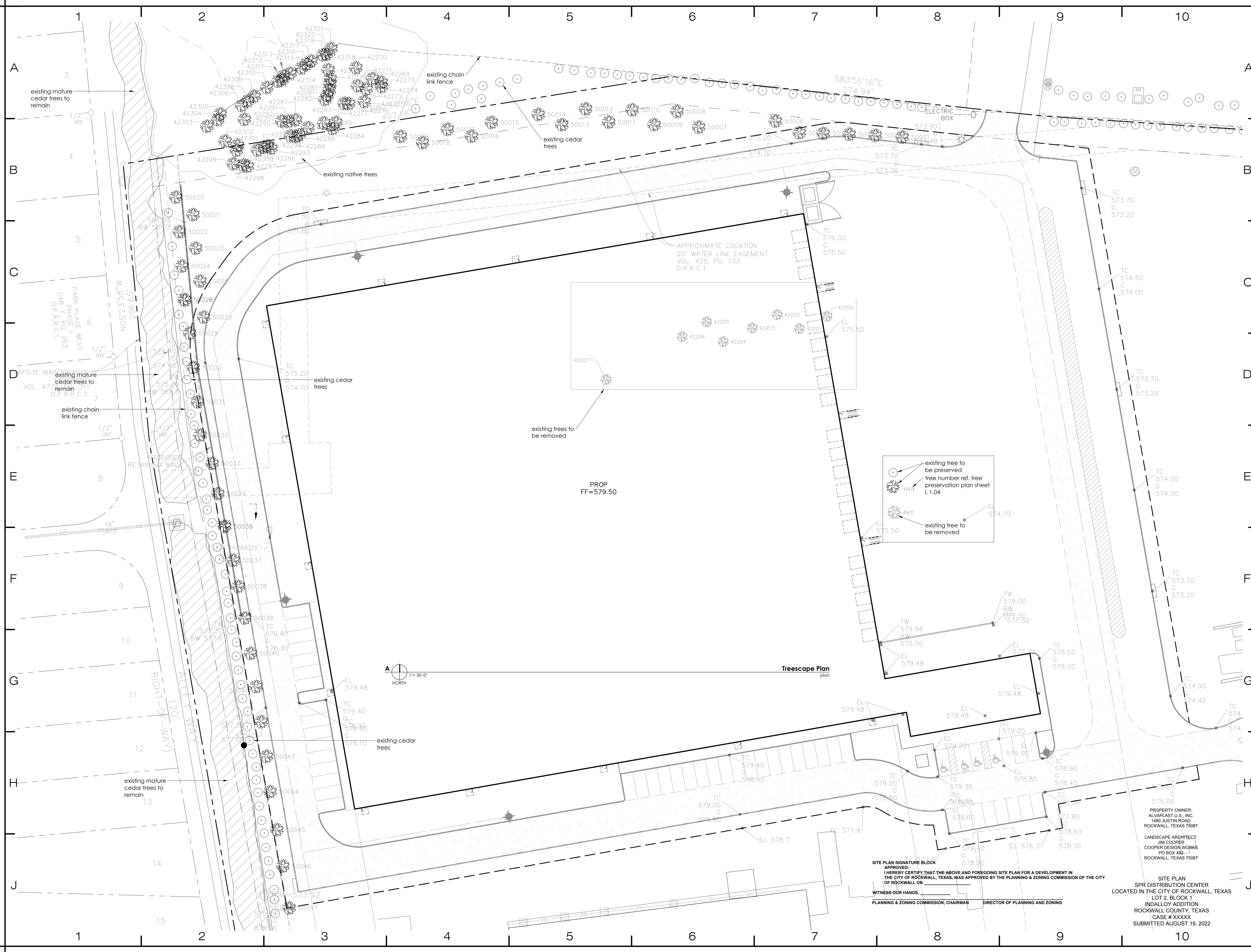
A
 NTS
Shade Tree Planting Detail

PROPERTY OWNER:
 ALVAPLAST U.S., INC.
 1480 JUSTIN ROAD
 ROCKWALL, TEXAS 75087

LANDSCAPE ARCHITECT:
 JIM COOPER
 COOPER DESIGN WORKS
 PO BOX 492
 ROCKWALL, TEXAS 75087

SITE PLAN
 SPR DISTRIBUTION CENTER
 LOCATED IN THE CITY OF ROCKWALL, TEXAS
 LOT 2, BLOCK 1
 INDALLOY ADDITION
 ROCKWALL COUNTY, TEXAS
 CASE # XXXXX
 SUBMITTED AUGUST 19, 2022

SITE PLAN SIGNATURE BLOCK
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 WITNESS OUR HANDS, _____
 PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



#	DESCRIPTION	DATE

Seal:
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 James A Cooper RLA 1287
 19 August 2022

SPR
 1480 JUSTIN ROAD
 ROCKWALL, TEXAS 75087
SPR DISTRIBUTION CENTER

Drawn By: CDW
 Project Number: 22-0013-00
 Date: 19 AUGUST 2022
 Issue: CITY SITE PLAN SUBMITTAL
 Approved By: CDW
 Sheet Number:

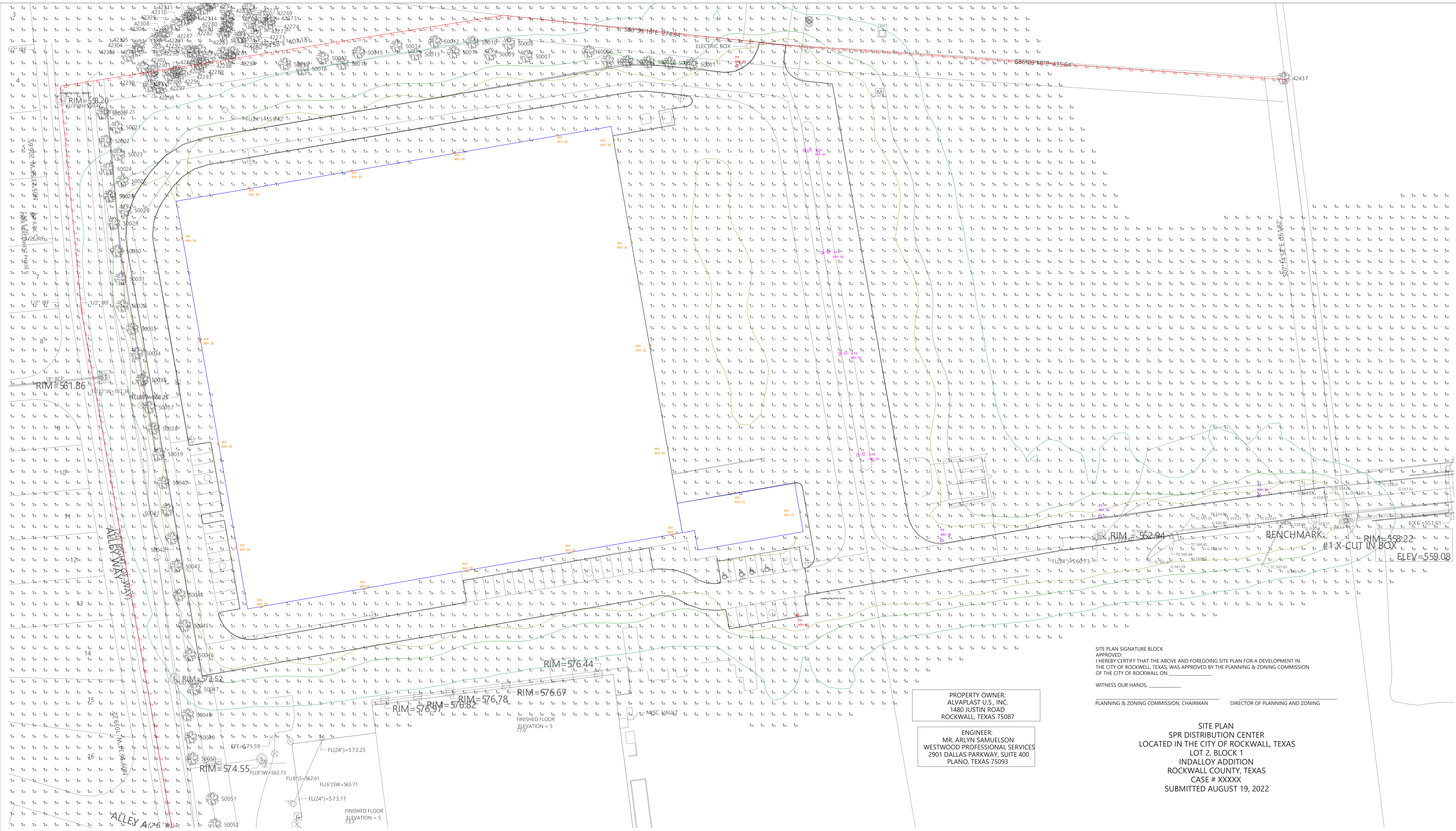
L1.03
 Treescape Plan

SITE PLAN SIGNATURE BLOCK
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 WITNESS OUR HANDS, _____ DIRECTOR OF PLANNING AND ZONING
 PLANNING & ZONING COMMISSION, CHAIRMAN

PROPERTY OWNER:
 ALVAPLAST U.S., INC.
 1480 JUSTIN ROAD
 ROCKWALL, TEXAS 75087

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 JIM COOPER
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SITE PLAN
 SPR DISTRIBUTION CENTER
 LOCATED IN THE CITY OF ROCKWALL, TEXAS
 LOT 2, BLOCK 1
 INDALLOY ADDITION
 ROCKWALL COUNTY, TEXAS
 CASE # XXXXX
 SUBMITTED AUGUST 19, 2022



Scale: 1 inch= 40 Ft.

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 OF THE CITY OF ROCKWALL ON _____
 WITNESS OUR HANDS, _____
 PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

PROPERTY OWNER:
 ALVAPLAST U.S., INC.
 1480 JUSTIN ROAD
 ROCKWALL, TEXAS 75087

ENGINEER:
 MR. ARLYN SAMUELSON
 WESTWOOD PROFESSIONAL SERVICES
 2901 DALLAS PARKWAY, SUITE 400
 PLANO, TEXAS 75093

SITE PLAN
 SPR DISTRIBUTION CENTER
 LOCATED IN THE CITY OF ROCKWALL, TEXAS
 LOT 2, BLOCK 1
 INDALEOY ADDITION
 ROCKWALL COUNTY, TEXAS
 CASE # XXXXX
 SUBMITTED AUGUST 19, 2022

Project Name: SPR Warehouse Site Project # :
 Client: Date: 8/19/2022
 Drawn By: JOW, LC Version: REV 2

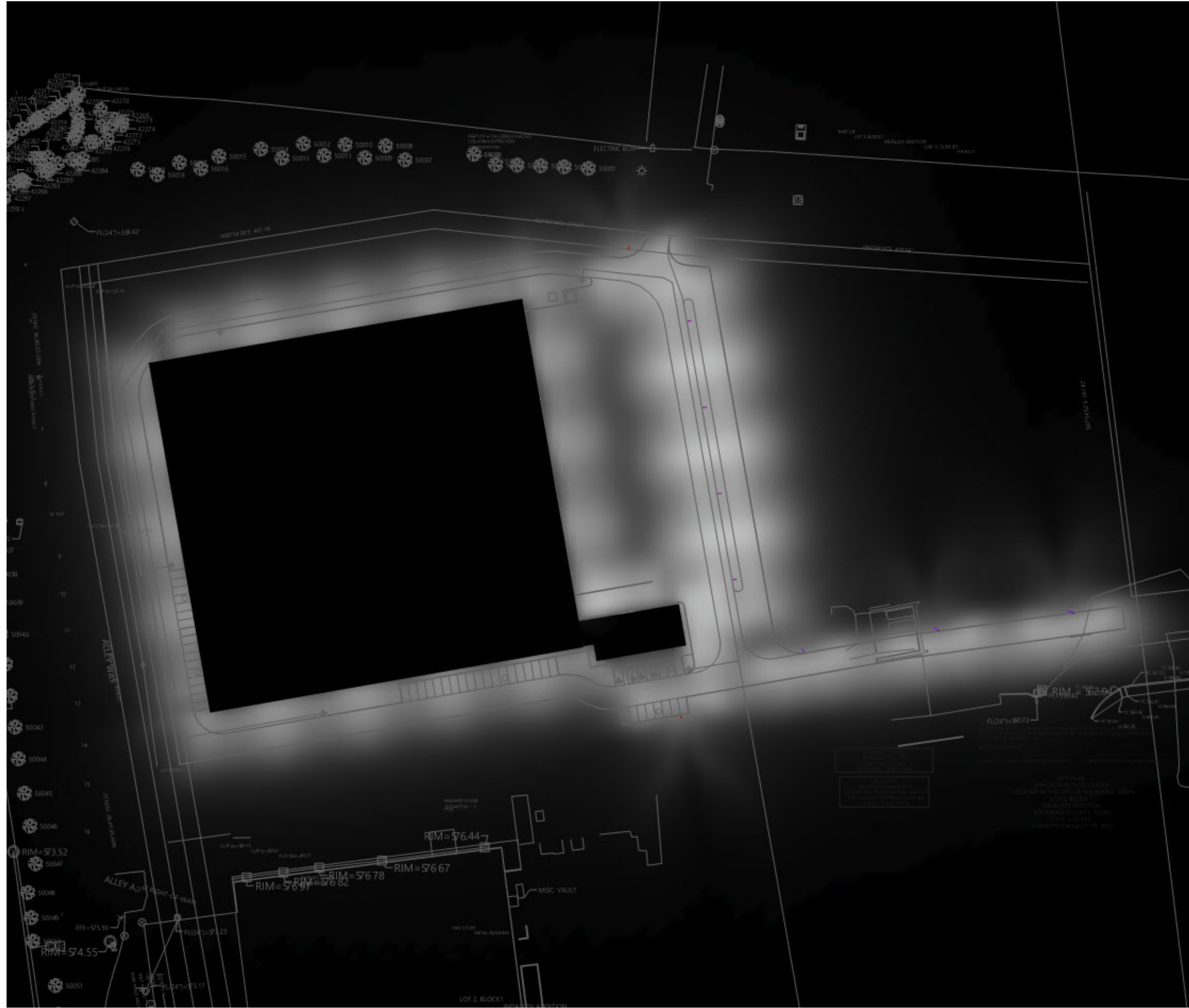


THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT
 TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION
 LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN
 ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL
 PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL
 VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. THESE LIGHTING
 CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING
 SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW
 FOR COMPLIANCE OF ALL APPLICABLE ENERGY CODES AND LIGHTING QUALITY STANDARDS.

Luminaire Schedule							LLF	Lum. Lumens
Symbol	Label	Qty	Arrangement	Manufacturer & Part Number				
	2-P4	4	Back-Back	HUBBELL RAR2-480L-185-3K7-4W-U (x2 @ 180 degrees)			0.900	24226
	P3	3	Single	HUBBELL RAR2-480L-185-3K7-3-U			0.900	24684
	P4	2	Single	HUBBELL RAR2-480L-185-3K7-4W-U			0.900	24226
	W4	19	Single	HUBBELL RWL2-160L-115-3K7-4-U			0.900	14403

Calculation Summary										
Label	CalcType	Units	PtSpclR	PtSpctb	Avg	Max	Min	Avg/Min	Max/Min	Description
Overall Area	Illuminance	Fc	10	10	0.56	5.4	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG
Property Line - North	Illuminance	Fc	10	N.A.	0.13	1.6	0.0	N.A.	N.A.	
Property Line - West	Illuminance	Fc	10	N.A.	0.03	0.1	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG
Loading-Pkg-Drive Areas	Illuminance	Fc			2.32	5	1	2.32	5.00	Readings taken at 0'-0" AFG

Isoline Legend	
Illuminance (Fc)	
Color	Value
	0.1
	0.5
	1



Top View - Greyscale (Luminance)

- NOTES:
- 1) Fixture Mounting Heights (MH) are indicated next to each fixture.
 - 2) All fixtures labeled with "_alt" indicates an alternative fixture different from what was listed in the fixture schedule received was used in this calculation
 - 3) Interior reflectances 80/50/20; exterior reflectances 20% UON.
 - 4) Quantity (QTY) indicated on HLPS Luminaire Schedule is for what is included in this calculation study only - Not final counts.
 - 5) Contractor to verify exact fixture quantities and fixture run lengths before ordering.

PROPERTY OWNER:
ALVAPLAST U.S., INC.
1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087

ENGINEER:
MR. ARLYN SAMUELSON
WESTWOOD PROFESSIONAL SERVICES
2901 DALLAS PARKWAY, SUITE 400
PLANO, TEXAS 75093

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WITNESS OUR HANDS, _____
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

SITE PLAN
SPR DISTRIBUTION CENTER
LOCATED IN THE CITY OF ROCKWALL, TEXAS
LOT 2, BLOCK 1
INDALLOY ADDITION
ROCKWALL COUNTY, TEXAS
CASE # XXXXX
SUBMITTED AUGUST 19, 2022

Project Name: SPR Warehouse Site Project # :
Client: Date: 8/19/2022
Drawn By: JOW, LC Version: REV 2



THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR COMPLIANCE OF ALL APPLICABLE ENERGY CODES AND LIGHTING QUALITY STANDARDS.

DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

RATIO Series

AREA/SITE LIGHTER

FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Compact and lightweight design with low EPA
- 3G rated for high vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7-Pin with networked controls
- Best in class surge protection available



RELATED PRODUCTS

- ⌘ [Airo](#) ⌘ [Cimarron LED](#) ⌘ [Ratio Family](#)



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Rectilinear form mimics the traditional shoebox form factor keeping a similar but updated style and appearance, ideal for retrofit applications
- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish

OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 80, 160, 320 or 480 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI) CCT
- Zero uplight at 0 degrees of tilt
- Field rotatable optics

INSTALLATION

- Standard square arm mount, compatible with B3 drill pattern
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option or accessory for square and round poles.
- Knuckle arm fitter option available for 2-3/8" OD tenon. Max tilt of 60 degrees with 4 degree adjustable increments. (Restrictions apply for 7-pin options)

ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz

ELECTRICAL (CONTINUED)

- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised

CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- 0- 10 V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6" standard
- SiteSync™ wireless control system is available via 7-pin See ordering information and details at: www.hubbellighting.com/sitesync
- NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor
- wiSCAPE® available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin

CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at www.designlights.org
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 3G rated for ANSI C136.31 high vibration applications
- Fixture is IP66 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020. See [Buy American Solutions](#)

WARRANTY

- 5 year limited warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	3,000–48,000
Wattage Range	25–340
Efficacy Range (LPW)	118–155
Fixture Projected Life (Hours)	L70>60K
Weights lbs. (kg)	13.5–24 (6.1–10.9)

RATIO SERIES

AREA/SITE LIGHTER

ORDERING GUIDE

Example: RAR1-80L-25-3K7-2-UNV-ASQ-BL-NXWE-BC

CATALOG #

ORDERING INFORMATION

Series	# LEDs - Wattage	CCT/CRI	Distribution	Optics Rotation	Voltage
RAR1 Ratio Area Size 1	80L-25 25W - 3,000 Lumens	3K7 3000K, 70 CRI	2 IES TYPE II	Blank for no rotation	UNV Universal 120-277V
	80L-39 39W - 5,200 Lumens	4K7 4000K, 70 CRI	3 IES TYPE III	L Optic rotation left	120 120V
	80L-50 50W - 6,000 Lumens	5K7 5000K, 70 CRI	4W IES TYPE IV	R Optic rotation right	208 208V
	160L-70 70W - 9,000 Lumens		5QW IES TYPE V		240 240V
	160L-100 100W - 12,000 Lumens				277 277V
	160L-115 115W - 15,000 Lumens				347 347V
	160L-135 135W - 18,000 Lumens				480 480V
RAR2 Ratio Area Size 2	320L-110 110W - 15,000 Lumens				
	320L-140 140W - 18,000 Lumens				
	320L-165 165W - 21,000 Lumens				
	480L-185 185W - 24,000 Lumens				
	480L-210 210W - 27,000 Lumens				
	480L-240 240W - 30,000 Lumens				
	480L-255 255W - 36,000 Lumens				
	480L-295 295W - 42,000 Lumens				
	480L-340 340W - 48,000 Lumens				

Mounting	Color	Control Options Network	Options
ASQ Arm mount for square pole/flat surface	BLT Black Matte Textured	NXWE NX Wireless Enabled (module + radio)	BC Backlight control
ASQU Universal arm mount for square pole/flat surface	BLS Black Gloss Smooth	NXSPW_F NX Wireless, PIR Occ. Sensor, Daylight Harvesting ⁴	F Fusing (must specify voltage)
Mounting Round Poles		NXSP_F NX, PIR Occ. Sensor, Daylight Harvesting ⁴	TB Terminal block
A_ Arm mount for round pole ¹	DBT Dark Bronze Matte Textured	Control Options Other	
A_U Universal arm mount for round pole ¹	DBS Dark Brone Gloss Smooth	SCP-40F Programmable occupancy sensor ³	Notes: 1 Replace " " with "3" for 3.5"-4.13" OD pole, "4" for 4.18"-5.25" OD pole, "5" for 5.5"-6.5" OD pole 2 Not available with 25, 50, 255, 295 & 340W configurations 3 At least one SCPREMOTE required to program SCP motion sensor 4 Replace " " with "14" for up to 14' mounting height, "40F" for 15-40' mounting height 5 Replace " " with "12" for up to 12' mounting height
Mounting Other		7PR 7-Pin twist lock receptacle	
WB Wall bracket	GTT Graphite Matte Textured	7PR-SC 7-Pin receptacle with shorting cap	
MAF Mast arm fitter for 2-3/8" OD horizontal arm	LGS Light Grey Gloss Smooth	7PR-MD40F Low voltage sensor for 7PR	
K Knuckle	PSS Platinum Silver Smooth	7PR-TL 7-Pin PCR with photocontrol	
	WHT White Matte Textured	Sensors	
	WHS White Gloss Smooth	BTS_F Bluetooth Programmable, PIR Occupancy/Daylight Sensor, 360° lens ⁴	
	VGT Verde Green Textured	BTSO_F Bluetooth Programmable, PIR Occupancy/Daylight Sensor, 360° lens, up to 12' mounting height ⁵	
	Color Option		
	CC Custom Color		

STOCK ORDERING INFORMATION

Catalog Number	Lumens	Wattage	LED Count	CCT/CRI	Voltage	Distribution	Mounting	Finish
RAR1-100-4K-3	12,000	100W	160L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
RAR1-100-4K-4W	12,000	100W	160L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze
RAR1-135-4K-3	18,000	135W	160L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
RAR1-135-4K-4W	18,000	135W	160L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze
RAR2-165-4K-3	21,000	165W	320L	4000K/70CRI	120-277V	Type 3	Square Arm	Bronze
RAR2-165-4K-4W	21,000	165W	320L	4000K/70CRI	120-277V	Type 4W	Square Arm	Bronze

RATIO SERIES

AREA/SITE LIGHTER

OPTIONS AND ACCESSORIES - STOCK (ORDERED SEPARATELY)

Catalog Number	Description
<input type="checkbox"/> RARRPA3DB	Round pole adapter 3.5" to 4.13" for ASQ arm, 3.5" to 4.13" OD pole, dark bronze finish
<input type="checkbox"/> RARA3UDB	Universal mount for square pole or round pole 3.5" to 4.13", dark bronze finish
<input type="checkbox"/> RARBC80L	Ratio blacklight control 80L
<input type="checkbox"/> RARBC160L	Ratio blacklight control 160L
<input type="checkbox"/> RARBC320L	Ratio blacklight control 320L
<input type="checkbox"/> RARBC480L	Ratio blacklight control 480L

ACCESSORIES AND REPLACEMENT PARTS - MADE TO ORDER

Catalog Number	Description
<input type="checkbox"/> RAR-ASQU-XX	Universal arm mount for square pole/flat surface ²
<input type="checkbox"/> RAR-A_U-XX	Universal arm mount for round poles ^{1,2}
<input type="checkbox"/> RAR-RPA_-XX	Round pole adapter ^{1,2}
<input type="checkbox"/> SETAVP-XX	4" square pole top tenon adapter, 2 3/8" OD slipfitter ²
<input type="checkbox"/> RETAVP-XX	4" round pole top tenon adapter; 2 3/8" OD slipfitter for max. Four fixtures (90°); order 4" round pole adapters separately ²
<input type="checkbox"/> BIRD-SPIKE-3	Ratio size 1 bird deterrent/spikes
<input type="checkbox"/> BIRD-SPIKE-4	Ratio size 2 bird deterrent/spikes
<input type="checkbox"/> RARWB-XX	Wall bracket - use with Mast Arm Fitter or Knuckle ²

1 Replace "-" with "3" for 3.5"-4.13" OD pole, "4" for 4.18"-5.25" OD pole, "5" for 5.5"-6.5" OD pole

2 Replace "XX" with desired color/paint finish

CONTROLS

Control Options

Standalone

SW7PR	SiteSync™ on fixture module via 7PR
SWUSB	SiteSync™ Software on USB
SWTAB	SiteSync™ Windows Tablet
SWBRG	SiteSync™ Wireless Bridge Node
SWFC	SiteSync™ Field Commission Serve
SCPREMOTE	Order at least one per project location to program and control

Networked – Wireless

WIR-RME-L	wiSCAPE External Fixture Module ^{1,2}
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NX Networked – Wireless

NXOFM-1R1D-UNV	NX Wireless, Daylight Harvesting, BLE, 7 pin twisted lock
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Notes:

- Works with external networked photosensor
- wiSCAPE Gateway required for system programming

RATIO SERIES

AREA/SITE LIGHTER

PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 80 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
RAR1	25	25.4	2	3438	135	1	0	1	3445	136	1	0	1	3240	128	1	0	1
			3	3460	136	1	0	1	3467	136	1	0	1	3260	128	1	0	1
			4W	3406	134	1	0	1	3412	134	1	0	1	3209	126	1	0	1
			5QW	3483	137	2	0	1	3490	137	2	0	1	3282	129	2	0	1
	39	39	2	5263	139	1	0	2	5273	139	1	0	2	4960	131	1	0	2
			3	5297	139	1	0	2	5308	140	1	0	2	4991	131	1	0	2
			4W	5200	137	1	0	2	5210	137	1	0	2	4900	129	1	0	2
			5QW	5333	140	3	0	1	5344	141	3	0	1	5025	132	3	0	1
	50	49.8	2	6310	127	1	0	2	6323	127	1	0	2	5946	120	1	0	2
			3	6349	128	1	0	2	6362	128	1	0	2	5983	120	1	0	2
			4W	6233	125	1	0	2	6245	126	1	0	2	5873	118	1	0	2
			5QW	6392	129	3	0	1	6405	129	3	0	1	6023	121	3	0	1
	70	68.4	2	9486	139	1	0	2	9505	139	1	0	2	8938	131	1	0	2
			3	9544	140	1	0	2	9563	140	1	0	2	8993	131	1	0	2
			4W	9395	137	1	0	2	9414	138	1	0	2	8853	129	1	0	2
			5QW	9608	140	4	0	2	9628	141	4	0	2	9054	132	4	0	2
	100	90.0	2	11976	133	2	0	2	12000	133	2	0	2	11285	125	2	0	2
			3	12050	134	2	0	2	12074	134	2	0	2	11354	126	2	0	2
			4W	11861	132	2	0	2	11885	132	2	0	2	11177	124	2	0	2
			5QW	12131	135	4	0	2	12155	135	4	0	2	11431	127	4	0	2
	115	109.7	2	15572	142	2	0	2	15494	141	2	0	2	14871	136	2	0	2
			3	15833	144	2	0	2	15754	144	2	0	2	15121	138	2	0	2
			4W	15281	139	2	0	3	15205	139	2	0	3	14623	133	2	0	3
			5QW	15732	143	4	0	2	15653	143	4	0	2	15024	137	4	0	2
	135	133.3	2	17971	135	3	0	3	17881	134	3	0	3	17163	129	3	0	3
			3	18272	137	2	0	2	18181	136	2	0	2	17450	131	2	0	2
			4W	17635	132	2	0	3	17547	132	2	0	3	16876	127	2	0	3
			5QW	18156	136	4	0	2	18065	136	4	0	2	17339	130	4	0	2

RAR2 Performance Data on next page

* Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

RATIO SERIES

AREA/SITE LIGHTER

PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 80 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
RAR2	110	100.3	2	15326	153	2	0	3	15357	153	2	0	3	14442	144	2	0	3
			3	15421	154	2	0	3	15452	154	2	0	3	14531	145	2	0	3
			4W	15180	151	2	0	2	15210	152	2	0	2	14304	143	2	0	2
			5QW	15525	155	4	0	2	15556	155	4	0	2	14629	146	4	0	2
	140	133.2	2	19395	146	2	0	3	19434	146	2	0	3	18276	137	2	0	3
			3	19515	147	2	0	3	19554	147	2	0	3	18389	138	2	0	3
			4W	19210	144	2	0	3	19248	145	2	0	3	18101	136	2	0	3
			5QW	19647	148	5	0	3	19686	148	5	0	3	18513	139	5	0	3
	165	153.6	2	21651	141	3	0	3	21695	141	3	0	3	20402	133	3	0	3
			3	21785	142	3	0	3	21828	142	3	0	3	20527	134	3	0	3
			4W	21444	140	3	0	3	21487	140	3	0	3	20206	132	3	0	3
			5QW	21932	143	5	0	3	21976	143	5	0	3	20666	135	5	0	3
	185	174.5	2	26046	149	3	0	3	26098	150	3	0	3	24543	141	3	0	3
			3	26207	150	3	0	3	26259	150	3	0	3	24694	142	3	0	3
			4W	25797	148	3	0	4	25849	148	3	0	4	24308	139	3	0	4
			5QW	26384	151	5	0	3	26437	152	5	0	3	24861	143	5	0	3
	210	198.2	2	28848	145	3	0	4	28906	146	3	0	4	27184	137	3	0	4
			3	29027	146	3	0	4	29085	147	3	0	4	27351	138	3	0	4
			4W	28572	144	3	0	4	28630	144	3	0	4	26924	136	3	0	4
			5QW	29222	147	5	0	4	29281	148	5	0	4	27536	139	5	0	4
	240	226.9	2	32087	141	3	0	4	32151	142	3	0	4	30235	133	3	0	4
			3	32285	142	3	0	4	32350	143	3	0	4	30422	134	3	0	4
			4W	31780	140	3	0	4	31844	140	3	0	4	29946	132	3	0	4
			5QW	32503	143	5	0	4	32568	144	5	0	4	30627	135	5	0	4
	255	257.0	2	37040	144	3	0	4	36854	143	3	0	4	35373	138	3	0	4
			3	37660	147	3	0	4	37472	146	3	0	4	35966	140	3	0	4
			4W	36347	141	3	0	5	36166	140	3	0	5	34782	135	3	0	5
			5QW	37420	146	5	0	4	37233	145	5	0	4	35736	139	5	0	4
	295	294.0	2	41733	142	3	0	4	41524	141	3	0	4	39855	136	3	0	4
			3	42432	144	3	0	4	42220	144	3	0	4	40523	138	3	0	4
			4W	40953	139	3	0	5	40748	139	3	0	5	39190	133	3	0	5
			5QW	42162	143	5	0	4	41951	143	5	0	4	40264	137	5	0	4
	340	347.1	2	48392	139	4	0	5	48150	139	4	0	5	46215	133	4	0	5
			3	49203	142	3	0	4	48957	141	3	0	4	46989	135	3	0	4
			4W	47488	137	4	0	5	47261	136	4	0	5	45443	131	4	0	5
			5QW	48889	141	5	0	5	48645	140	5	0	5	46689	135	5	0	5

* Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

RATIO SERIES

AREA/SITE LIGHTER

ELECTRICAL DATA

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)
RAR1	25	120	0.21	25.4
		208	0.12	
		240	0.11	
		277	0.09	
	39	120	0.32	38.0
		208	0.18	
		240	0.16	
		277	0.14	
		347	0.11	
		480	0.08	
	50	120	0.42	49.8
		208	0.24	
		240	0.21	
		277	0.18	
	70	120	0.57	68.4
		208	0.33	
		240	0.29	
		277	0.25	
	100	120	0.75	90.0
		208	0.43	
		240	0.38	
		277	0.32	
	115	120	0.91	109.7
		208	0.53	
		240	0.46	
		277	0.40	
		347	0.32	
		480	0.23	
135	120	1.11	133.3	
	208	0.64		
	240	0.56		
	277	0.48		
	347	0.38		
		480	0.28	

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)
RAR2	110	120	0.84	100.3
		208	0.48	
		240	0.42	
		277	0.36	
	140	120	1.11	133.2
		208	0.64	
		240	0.56	
		277	0.48	
	165	120	1.28	153.6
		208	0.74	
		240	0.64	
		277	0.55	
	185	120	1.45	174.5
		208	0.84	
		240	0.73	
		277	0.63	
	210	120	1.65	198.3
		208	0.95	
		240	0.83	
		277	0.72	
	240	120	1.89	226.9
		208	1.09	
		240	0.95	
		277	0.82	
	255	120	2.14	257.0
		208	1.24	
		240	1.07	
		277	0.93	
		347	0.74	
		480	0.54	
	295	120	2.45	294.0
		208	1.41	
		240	1.23	
		277	1.06	
		347	0.85	
		480	0.61	
340	120	2.89	347.1	
	208	1.67		
	240	1.45		
	277	1.25		
	347	1.00		
	480	0.72		

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0° C	32° F	1.03
10° C	50° F	1.01
20° C	68° F	1.00
25° C	77° F	1.00
30° C	86° F	0.99
40° C	104° F	0.98
50° C	122° F	0.97

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

PROJECTED LUMEN MAINTENANCE

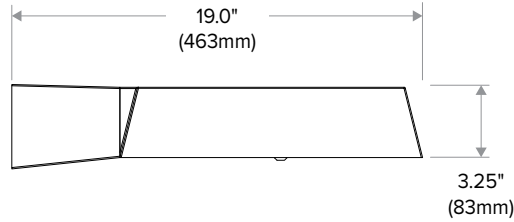
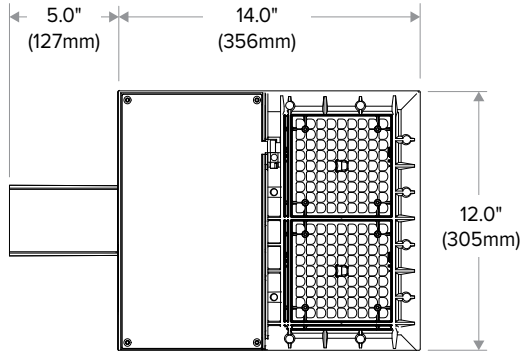
Ambient Temperature	OPERATING HOURS					
	0	25,000	TM-21-11 L90 36,000	50,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.97	0.95	0.93	0.86	238,000
40°C / 104°F	0.99	0.96	0.95	0.93	0.85	225,000

RATIO SERIES

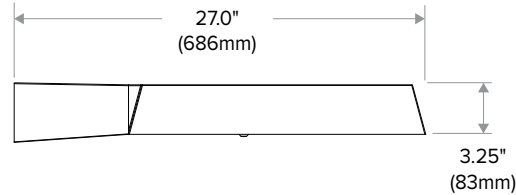
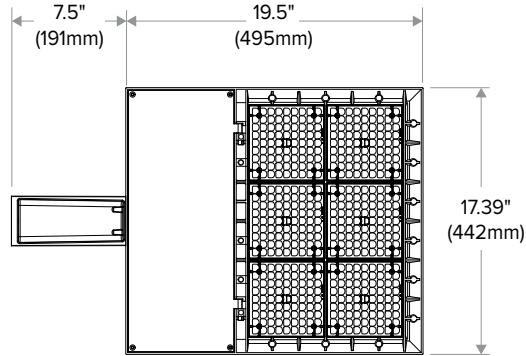
AREA/SITE LIGHTER

DIMENSIONS

RAR1

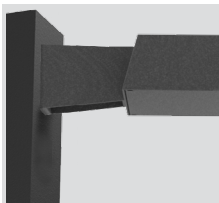


RAR2



ADDITIONAL INFORMATION

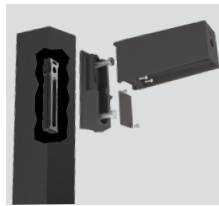
MOUNTING



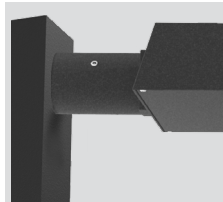
Arm Mount – Fixture ships with integral arm for ease of installation. Compatible with Hubbell Outdoor B3 drill pattern.



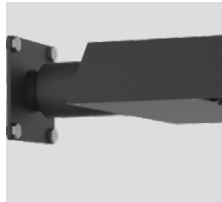
Knuckle – Knuckle mount 15° aiming angle increments for precise aiming and control, fits 2-3/8" tenons or pipes.



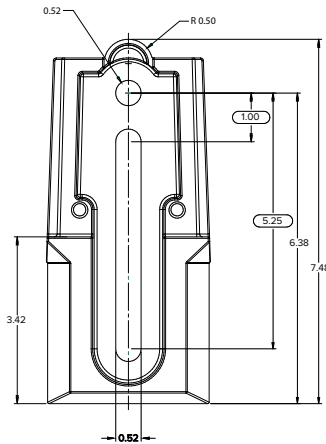
Universal Mounting – Universal mounting block for ease of installation. Compatible with drill patterns from 2.5" to 4.5"



MAF – Fits 2-3/8" OD arms Roadway applications.



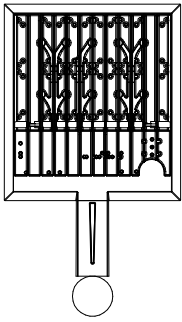
Wall Mount – Wall mount bracket designed for building mount applications.



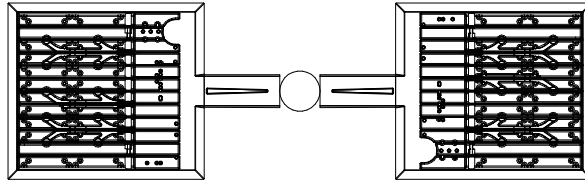
RATIO SERIES

AREA/SITE LIGHTER

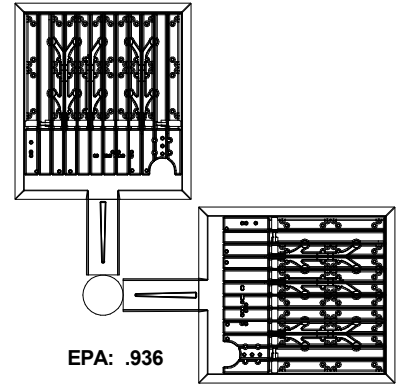
EPA



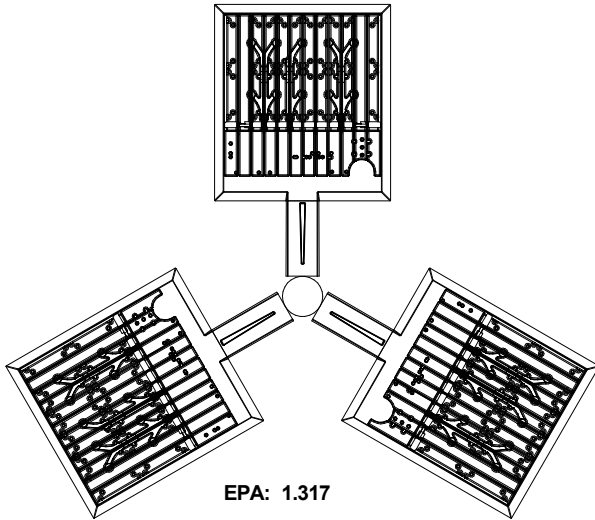
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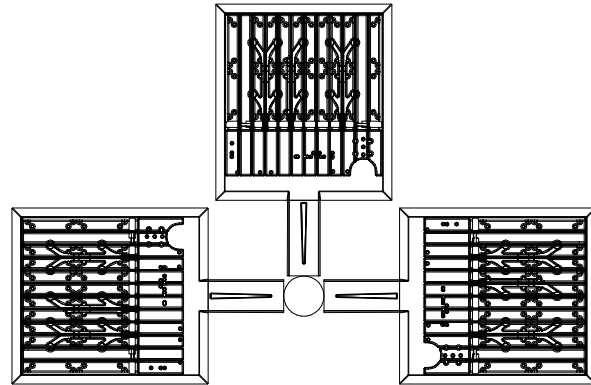
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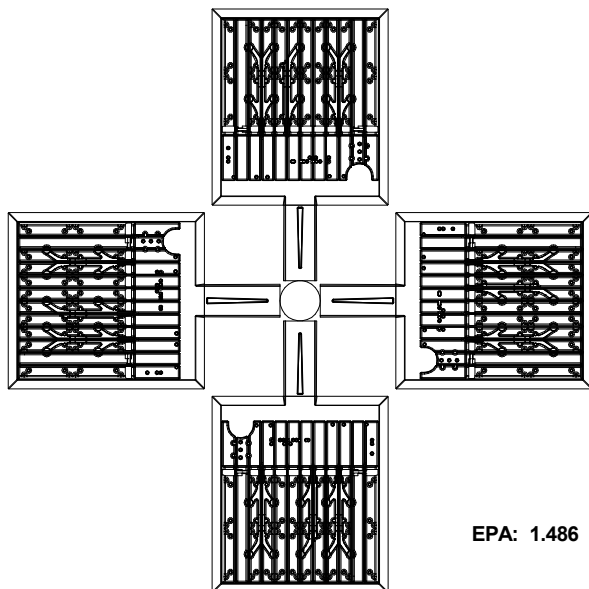
EPA: .936



EPA: 1.317



EPA: 1.486



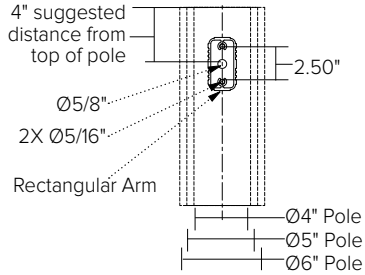
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RATIO SERIES

AREA/SITE LIGHTER

ADDITIONAL INFORMATION (CONT'D)

ARM MOUNT (ASQ) Compatible with Pole drill pattern B3



UNIVERSAL MOUNTING (ASQU) Compatible with pole drill pattern S2



SITESYNC 7-PIN MODULE



SW7PR



- SiteSync features in a new form
- Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)

PROGRAMMED CONTROLS

ADD-AutoDim Timer Based Options

- Light delay options from 1-9 hours after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1-9 hours after the light has been dimmed previously.

EX: ADD-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	1-9 Hours	6
Auto-Dim Brightness	0-9% Brightness	5
Auto-Dim Return	Delay 0-9 Hours	R6

ADT-AutoDim Time of Day Based Option

- Light delay options from 1AM-9PM after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1AM-9PM after the light has been dimmed previously.

EX: ADT-6-5-R6

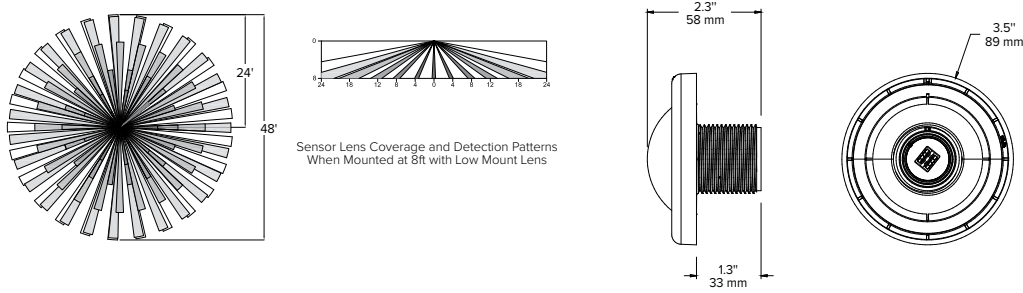
ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	12-3 AM and 6-11 PM	6
Auto-Dim Brightness	0-9% Brightness	5
Auto-Dim Return	12-6 AM and 9-11P	R6

RATIO SERIES

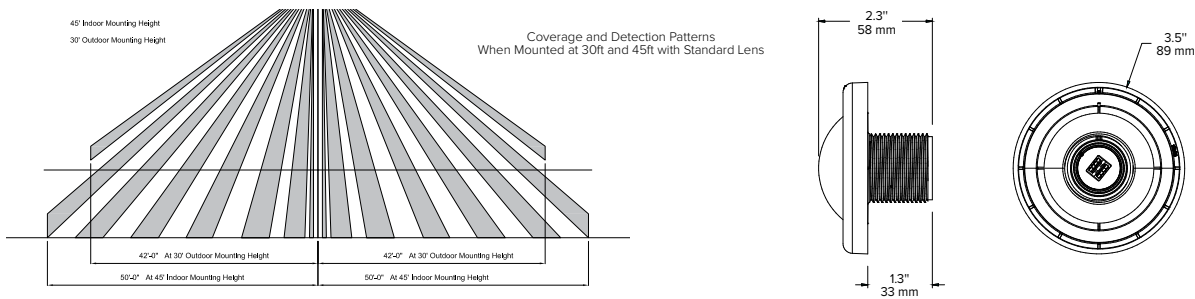
AREA/SITE LIGHTER

ADDITIONAL INFORMATION (CONT'D)

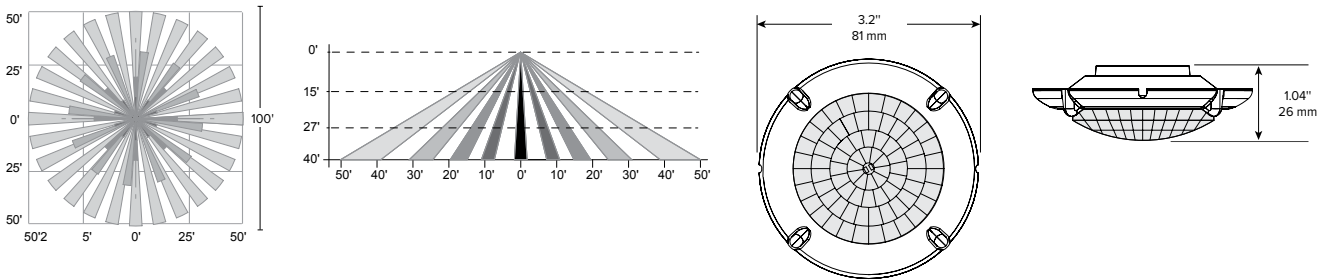
NXSP-14F



NXSP-30F



SCP-40F



RAR1 EPA

RAR-1	
EPA at 0°	EPA at 30°
.45ft. ² .13m ²	.56ft. ² .17m ²

RAR2 EPA

RAR-2	
EPA at 0°	EPA at 30°
.55ft. ² .17m ²	1.48ft. ² .45m ²

SHIPPING

Catalog Number	G.W(kg)/CTN	Carton Dimensions		
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)
RAR1	15 (6.8)	20.75 (52.7)	15.125 (38.4)	6.9375 (17.6)
RAR2	19 (8.6)	25 (63.5)	15.125 (38.4)	6.9375 (17.6)

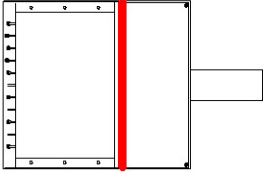
RATIO SERIES

AREA/SITE LIGHTER

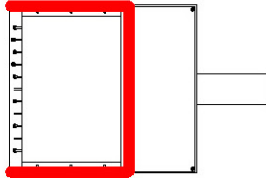
ADDITIONAL INFORMATION (CONT'D)

RATIO HOUSE SIDE SHIELD

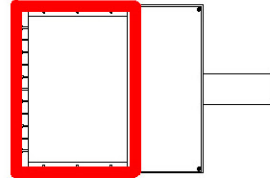
RARx HSS-90-B-xx



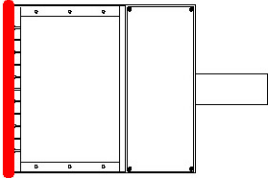
RARx HSS-270-BSS-xx



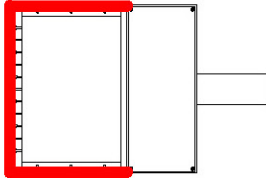
RARx HSS-360-xx



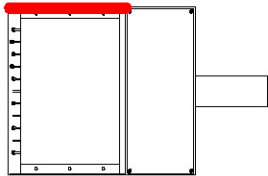
RARx HSS-90-F-xx



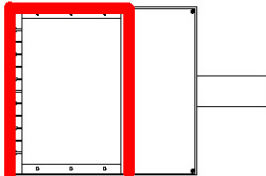
RARx HSS-270-FSS-xx



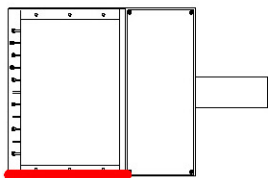
RARx HSS-90-S-xx



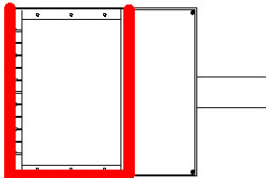
RARx HSS-270-FSB-xx



RARx HSS-90-S-xx



RARx HSS-270-FSB-xx



USE OF TRADEMARKS AND TRADE NAMES

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DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

RATIO Wall

RWL1/RWL2 LED WALLPACK

FEATURES

- Low profile LED wall luminaire with a variety of IES distributions for lighting applications such as retail, commercial and industrial building mount
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™, Wiscap and 7-Pin with networked controls
- Battery Backup options available for emergency code compliance
- Quick-mount adapter allows easy installation/maintenance
- 347V and 480V versions for industrial applications and Canada
- Stock versions available in 3500lm and 5500lm configurations at 4000K



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish
- Powder paint finish provides durability in outdoor environments. Tested to meet 1000 hour salt spray rating.

OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 48 or 160 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI/80 CRI) CCT
- Zero uplight distributions
- LED optics provide IES type II, III and IV distributions. Type II only available in RWL2 configurations.

INSTALLATION

- Quick-mount adapter provides easy installation to wall or to recessed junction boxes (4" square junction box)
- Designed for direct j-box mount.
- Integral back box contains 1/2" conduit hubs
- Integral back box standard with Dual Driver, Dual Power Feed, NX, Wiscap and battery versions (battery versions for RWL1 only)

ELECTRICAL

- 120V-277V universal voltage 50/60Hz 0-10V dimming drivers
- 347V and 480V dimmable driver option for all wattages above 35W.

ELECTRICAL (CONTINUED)

- Ambient operating temperature -40°C to 40°C
- Drivers have greater than .90 power factor and less than 20% Total Harmonic Distortion
- Driver RoHS and IP66
- Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised
- Dimming drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than 6" standard.

CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- Button photocontrol is suitable for 120-277V operation
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor
- WISCAPE® available with in fixture wireless control module, features dimming and occupancy sensor
- Integral Battery Backup provides emergency lighting for the required 90 minute path of egress
- Battery Backup suitable for operating temperatures -25°C to 40°C. RWL1 battery is 12.5W RWL2 battery is 18W



RELATED PRODUCTS

- [Ratio Family](#) [Ratio Area](#) [Ratio Flood](#)

CONTROLS (CONTINUED)

- Dual Driver and Dual Power Feed options creates product configuration with 2 internal drivers for code compliance
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application.

CERTIFICATIONS

- Listed to UL1598 and CSAC22.2#250.0-24 for wet locations
- IP65 rated housing
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020. See Buy American Solutions
- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at www.designlights.org

WARRANTY

- 5 year limited warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	1,300–18,800
Wattage Range	10–155
Efficacy Range (LPW)	119–148
Fixture Projected Life (Hours)	L70>60K
Weights lbs. (kg)	6.5/16.5 (2.9/7.5)

RATIO WALL

RWL1/RWL2 LED WALLPACK

ORDERING GUIDE

Example: RWL1-48L-10-3K7-2-UNV-BLS-E

CATALOG #

ORDERING INFORMATION

Series	# LEDs - Wattage	CCT/CRI	Distribution	Voltage	Color	
RWL1 Ratio Wall 1	48L-10	1,000 Lumens ⁴	2 IES TYPE II ¹	UNV 120-277V	BLT Black Matte Textured BLS Black Gloss Smooth DBT Dark Bronze Matte Textured DBS Dark Bronze Gloss Smooth GTT Graphite Matte Textured LGS Light Grey Gloss Smooth LGT Light Grey Matte Textured PSS Platinum Silver Smooth WHT White Matte Textured WHS White Gloss Smooth VGT Verde Green Textured Color Option CC Custom Color	
	48L-15	2,000 Lumens ⁴				3 IES TYPE III
	48L-20	2,500 Lumens ⁴				4W IES TYPE IV
	48L-25	3,500 Lumens ⁵	3K7 3000K, 70 CRI 4K7 4000K, 70 CRI 5K7 5000K, 70 CRI	120 120V		
	48L-35	4,500 Lumens		208 208V		
	48L-45	5,500 Lumens ⁴		240 240V		
	RWL2 Ratio Wall 2	160L-45		6,500 Lumens		277 277V
		160L-50		7,500 Lumens		347 347V
160L-65		9,500 Lumens		480 480V		
160L-80		11,000 Lumens				
160L-95		13,000 Lumens				
160L-115		15,000 Lumens				
160L-135		17,500 Lumens				
160L-155	19,500 Lumens					

Control Options Network	
NXWE	NX Wireless Enabled (module + radio) ^{5,7}
NXSPW_F	NX Wireless, PIR Occ. Sensor, Daylight Harvesting ^{4,5,7}
NXSP_F	NX, PIR Occ. Sensor, Daylight Harvesting ^{4,5,7}
WIR	Wireless Controls, wiSCAPE™ ^{2,6}
Stand Alone Sensors	
SCP-8F	Remote control programmable line voltage sensor ^{3,4}
SCP-20F	Remote control programmable line voltage sensor ^{3,4}
BTS-14F	Bluetooth® Programmable, PIR Occupancy/Daylight Sensor ¹⁰
BTS-40F	Bluetooth® Programmable, PIR Occupancy/Daylight Sensor ¹⁰
BTSO-12F	Bluetooth® Programmable, PIR Occupancy/Daylight Sensor, up to 12' mounting height ¹⁰
Control Options	
7PR_	7-Pin Receptacle ⁶

Options*	
F	Fusing ³
E	Emergency Battery Backup ^{7,8,9}
EH	Emergency Battery w/ Heater Option ^{7,8}
2DR	Dual Driver ^{4,6,11}
2PF	Dual Power Feed ^{4,6,11}
PC	Button Photocontrol ⁸

Notes:

- 1 Only available with RWL2
 - 2 wiSCAPE Gateway required for system programming
 - 3 Specific voltage selection is required
 - 4 Not available with 347/480V
 - 5 Replace "_" with "14" for up to 14' mounting height, "40" for up to 40' mounting height
 - 6 This item is located in the integral backbox which will be automatically added onto the fixture if chosen.
 - 7 This item is located in the integral backbox for RWL1 configurations only.
 - 8 Option only available at 120 or 277V
 - 9 2DR and 2PF can't be combined with E and EH due to space limitations
 - 10 Not available in RWL1 or 2 PF
 - 11 Available only in UNV in 25, 35 and 45 Watt in RWL1; Not available in RWL1 10, 15 and 25 Watt.
- * Based on space limitations, some options may not be able to be combined

STOCK ORDERING INFORMATION

Catalog Number	Lumens	Wattage	LED Count	CCT/CRI	Voltage	Distribution	Finish
RWL1-48L-25-4K-3	3500lm	25	48L	4000K/70CRI	120-277V	Type III	Dark Bronze Textured
RWL1-48L-25-4K-4W	3500lm	25	48L	4000K/70CRI	120-277V	Type IV Wide	Dark Bronze Textured
RWL1-48L-45-4K-3	5500lm	45	48L	4000K/70CRI	120-277V	Type III	Dark Bronze Textured
RWL1-48L-45-4K-4W	5500lm	45	48L	4000K/70CRI	120-277V	Type IV Wide	Dark Bronze Textured

CONTROLS

Control Options	
Standalone	
SCPREMOTE	Order at least one per project location to program and control

ACCESSORIES AND REPLACEMENT PARTS - MADE TO ORDER

Catalog Number	Description
<input type="checkbox"/> WP-BB-XXX	Accessory for conduit entry ¹

- Notes:
- 1 replace "xxx" with color option

RATIO WALL

RWL1/RWL2 LED WALLPACK

PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 70 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
RWL1	10	10.1	3	1362	135	0	0	1	1355	134	0	0	1	1303	129	0	0	1
			4W	1343	133	0	0	1	1336	132	0	0	1	1285	127	0	0	1
	15	14.5	3	1972	136	1	0	1	1962	135	1	0	1	1887	130	1	0	1
			4W	1945	134	0	0	1	1935	133	0	0	1	1861	128	0	0	1
	20	19.9	3	2722	137	1	0	1	2709	136	1	0	1	2605	131	1	0	1
			4W	2685	135	1	0	1	2672	134	1	0	1	2569	129	1	0	1
	25	28.0	3	3749	134	1	0	1	3732	133	1	0	1	3588	128	1	0	1
			4W	3698	132	1	0	1	3680	131	1	0	1	3538	126	1	0	1
	35	36.9	3	4751	129	1	0	2	4728	128	1	0	2	4546	123	1	0	1
			4W	4685	127	1	0	2	4663	126	1	0	2	4483	121	1	0	2
	45	46.5	3	5812	125	1	0	2	5784	124	1	0	2	5562	120	1	0	2
			4W	5731	123	1	0	2	5704	123	1	0	2	5485	118	1	0	2
RWL2	45	46.1	2	6701	145	1	0	2	6668	145	1	0	2	6412	139	1	0	2
			3	6812	148	1	0	2	6780	147	1	0	2	6519	141	1	0	2
			4W	6678	145	1	0	2	6646	144	1	0	2	6390	139	1	0	2
	50	54.0	2	7747	143	1	0	2	7710	143	1	0	2	7413	137	1	0	2
			3	7876	146	1	0	2	7838	145	1	0	2	7537	140	1	0	2
			4W	7720	143	1	0	2	7683	142	1	0	2	7388	137	1	0	2
	65	67.2	2	9539	142	1	0	2	9494	141	1	0	2	9129	136	1	0	2
			3	9699	144	2	0	2	9652	144	2	0	2	9281	138	2	0	2
			4W	9507	141	2	0	2	9461	141	2	0	2	9097	135	2	0	2
	80	80.8	2	11228	139	2	0	2	11174	138	2	0	2	10745	133	2	0	2
			3	11416	141	2	0	2	11361	141	2	0	2	10924	135	2	0	2
			4W	11190	138	2	0	2	11136	138	2	0	2	10708	133	2	0	2
	95	93.2	2	13148	141	2	0	2	13085	140	2	0	2	12582	135	2	0	2
			3	13368	143	2	0	2	13304	143	2	0	2	12792	137	2	0	2
			4W	13103	141	2	0	2	13040	140	2	0	2	12539	135	2	0	2
	115	109.8	2	15102	138	2	0	3	15030	137	2	0	3	14452	132	2	0	3
			3	15354	140	2	0	3	15281	139	2	0	3	14693	134	2	0	3
			4W	15050	137	2	0	3	14978	136	2	0	3	14402	131	2	0	3
	135	137.1	2	17533	128	2	0	3	17449	127	2	0	3	16778	122	2	0	3
			3	17826	130	2	0	3	17740	129	2	0	3	17058	124	2	0	3
			4W	17473	127	2	0	3	17389	127	2	0	3	16720	122	2	0	3
	155	156.8	2	19495	124	2	0	3	19402	124	2	0	3	18656	119	2	0	3
			3	19821	126	2	0	3	19726	126	2	0	3	18967	121	2	0	3
			4W	19542	125	2	0	3	19448	124	2	0	3	18700	119	2	0	3

RATIO WALL

RWL1/RWL2 LED WALLPACK

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.98
50°C	122°F	0.97

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

PROJECTED LUMEN MAINTENANCE

Ambient Temperature	OPERATING HOURS					
	0	25,000	TM-21-11 L90 36,000	50,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.97	0.96	0.95	0.91	408,000
40°C / 104°F	0.99	0.96	0.95	0.94	0.89	356,000

ELECTRICAL DATA

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)
RWL1	10	120	0.08	10.1
		208	0.05	
		240	0.04	
		277	0.04	
		347	0.03	
		480	0.02	
	15	120	0.12	14.5
		208	0.07	
		240	0.06	
		277	0.05	
		347	0.04	
		480	0.03	
	20	120	0.17	19.9
		208	0.10	
		240	0.08	
		277	0.07	
		347	0.06	
		480	0.04	
	25	120	0.23	28.0
		208	0.13	
		240	0.12	
		277	0.10	
		347	0.08	
		480	0.06	
35	120	0.31	36.9	
	208	0.18		
	240	0.15		
	277	0.13		
	347	0.11		
	480	0.08		
45	120	0.39	46.5	
	208	0.22		
	240	0.19		
	277	0.17		
	347	0.13		
	480	0.10		

# OF LEDS	Nominal Wattage	Input Voltage	Oper. Current (Amps)	System Power (Watts)
RWL2	45	120	0.38	46.1
		208	0.22	
		240	0.19	
		277	0.17	
		347	0.13	
		480	0.10	
	50	120	0.45	54.0
		208	0.26	
		240	0.23	
		277	0.19	
		347	0.16	
		480	0.11	
	65	120	0.56	67.2
		208	0.32	
		240	0.28	
		277	0.24	
		347	0.19	
		480	0.14	
	80	120	0.67	80.8
		208	0.39	
		240	0.34	
		277	0.29	
		347	0.23	
		480	0.17	
	95	120	0.78	93.2
		208	0.45	
		240	0.39	
		277	0.34	
		347	0.27	
		480	0.19	
	115	120	0.92	109.8
		208	0.53	
		240	0.46	
		277	0.40	
		347	0.32	
		480	0.23	
	135	120	1.14	137.1
		208	0.66	
		240	0.57	
		277	0.49	
		347	0.40	
		480	0.29	
155	120	1.31	156.8	
	208	0.75		
	240	0.65		
	277	0.57		
	347	0.45		
	480	0.33		

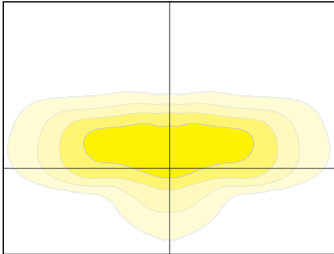
RATIO WALL

RWL1/RWL2 LED WALLPACK

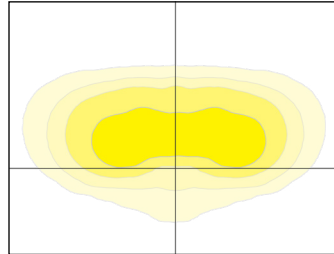
PHOTOMETRY

Mounting Height: 30ft

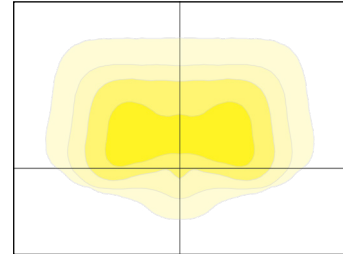
Type II



Type III



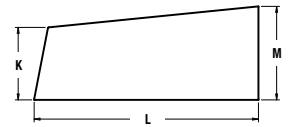
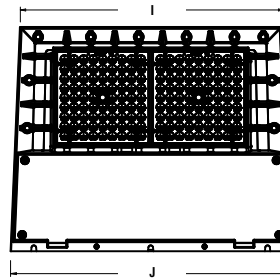
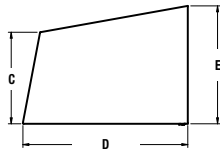
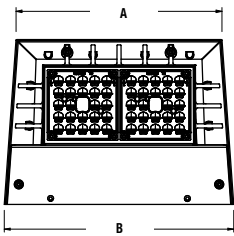
Type VI



DIMENSIONS

RWL1

RWL2

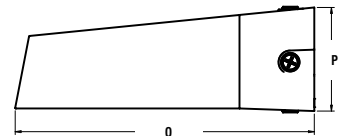
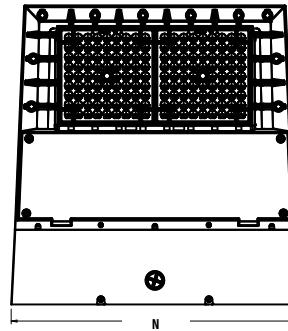
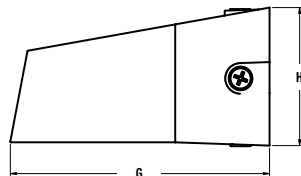
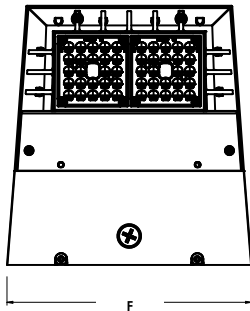


A	B	C	D	E	Weight
8.7"	9.7"	3.9"	7.0"	5.0"	6.5 lbs (2.95 kgs)
221mm	246mm	99mm	178mm	127mm	

I	J	K	L	M	Weight
14.0"	15.0"	3.9"	12.0"	5.0"	16.5 lbs (7.48 kgs)
356mm	381mm	99mm	305mm	127mm	

RWL1 with
Integral Back Box

RWL2 with
Integral Back Box



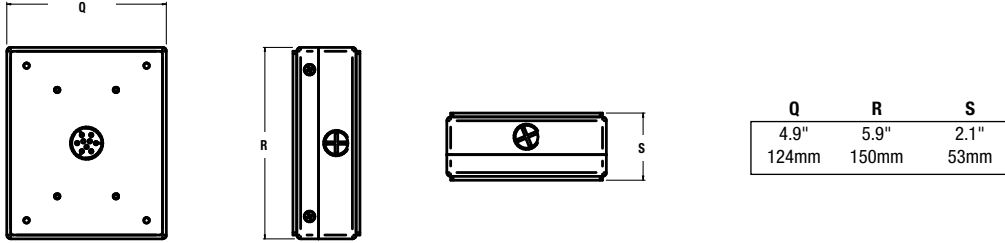
F	G	H
10.4"	11.0"	5.9"
264mm	279mm	150mm

N	O	P
15.4"	16.0"	5.5"
391mm	406mm	140mm

RATIO WALL
RWL1/RWL2 LED WALLPACK

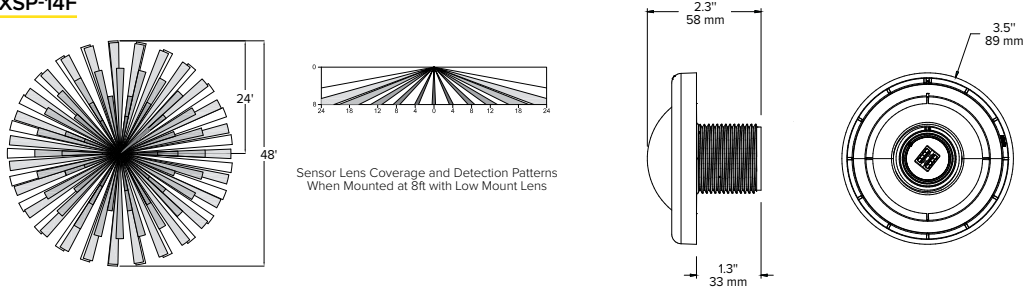
DIMENSIONS (CONTINUED)

Back Box Accessory

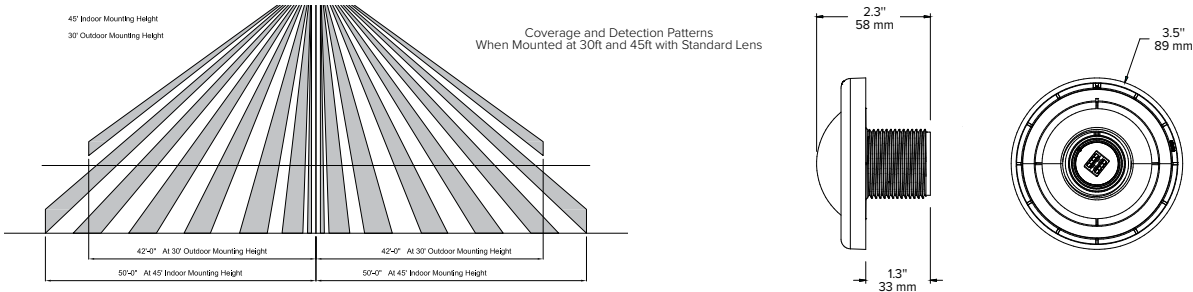


ADDITIONAL INFORMATION

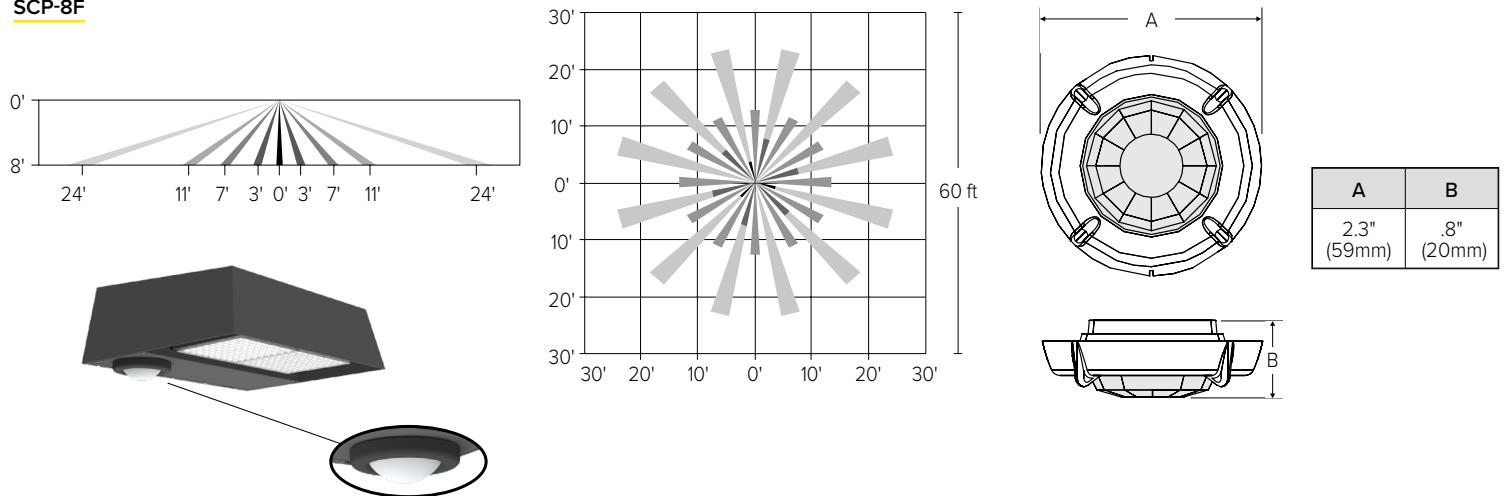
NXSP-14F



NXSP-40F



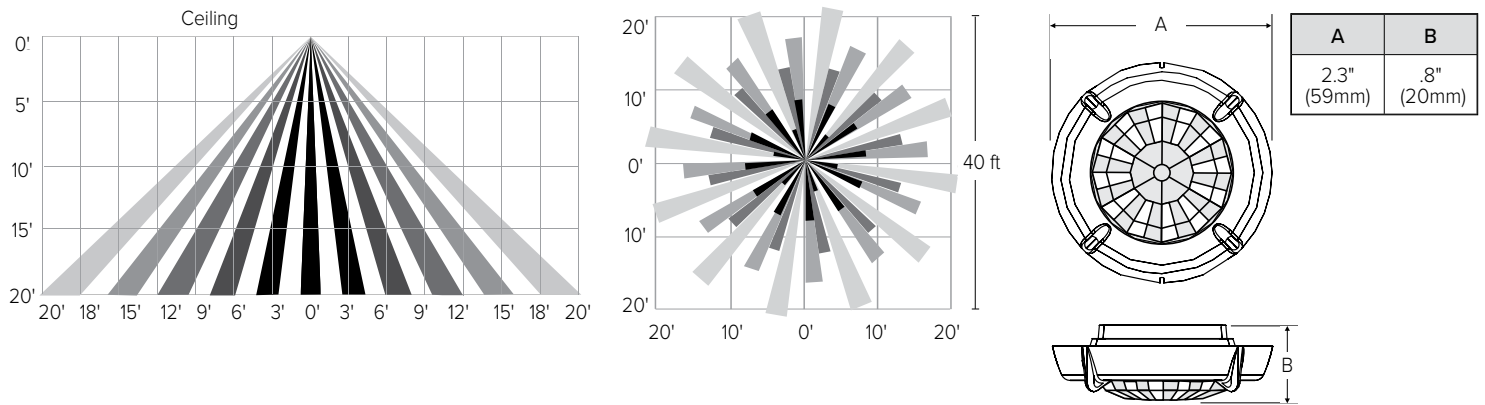
SCP-8F



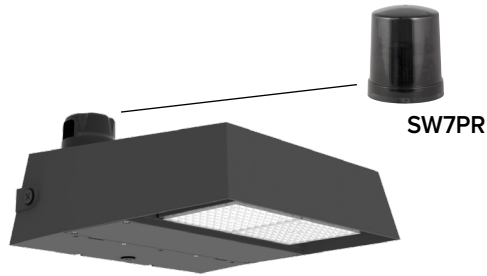
RATIO WALL

RWL1/RWL2 LED WALLPACK

SCP-20F



SITESYNC 7-PIN MODULE



- SiteSync features in a new form
- Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)